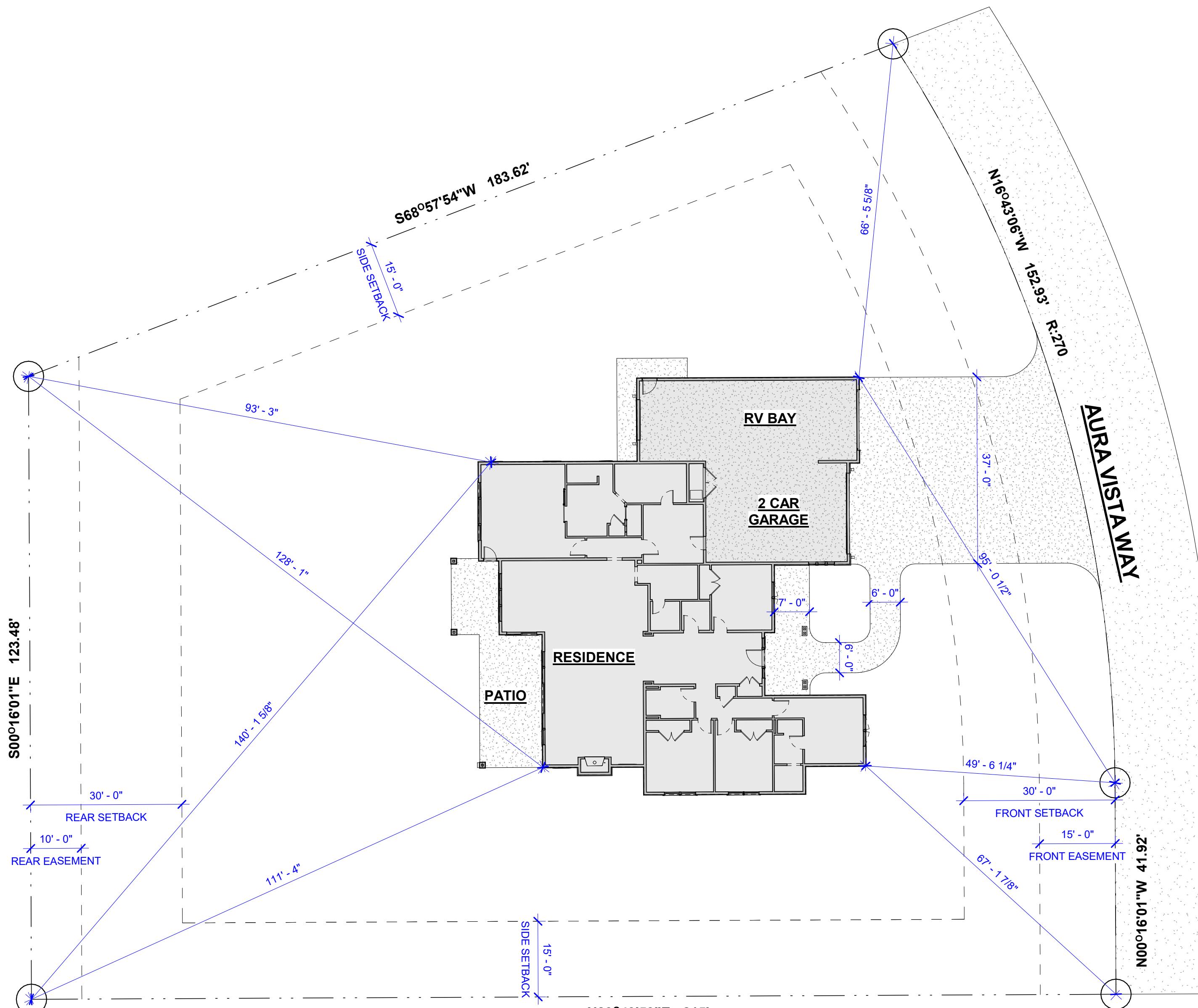


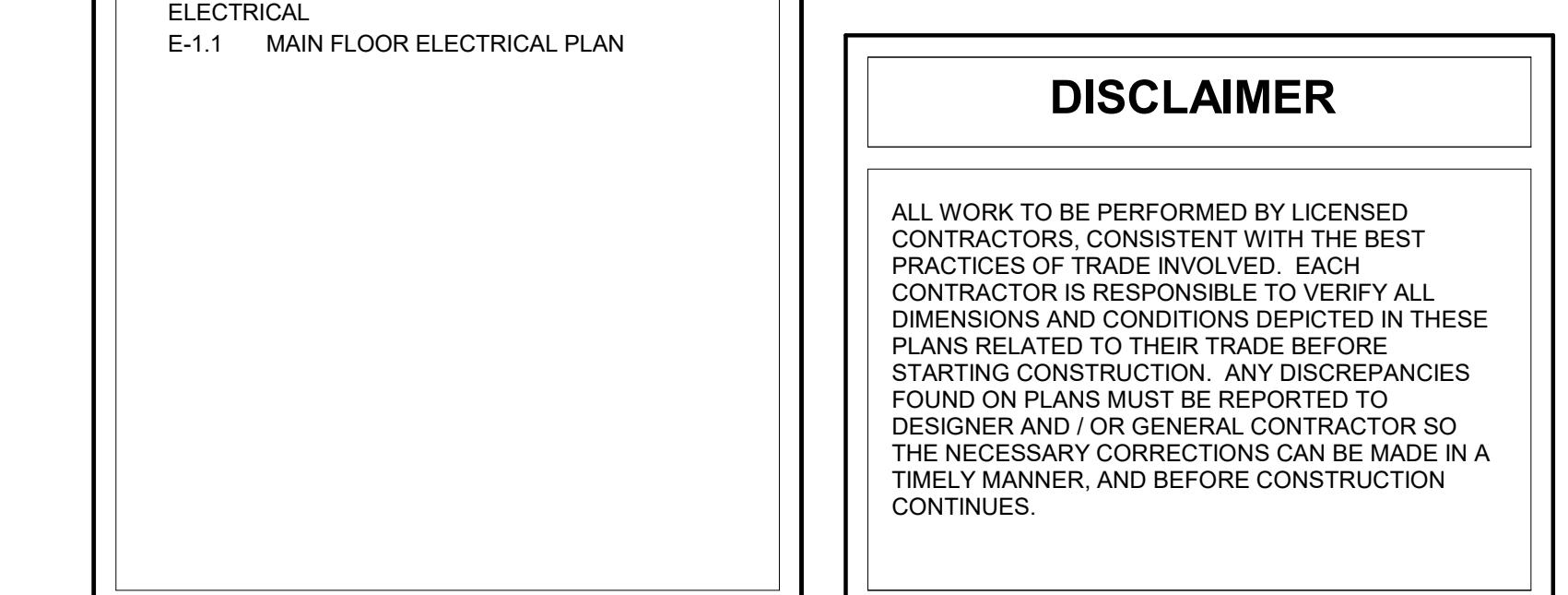
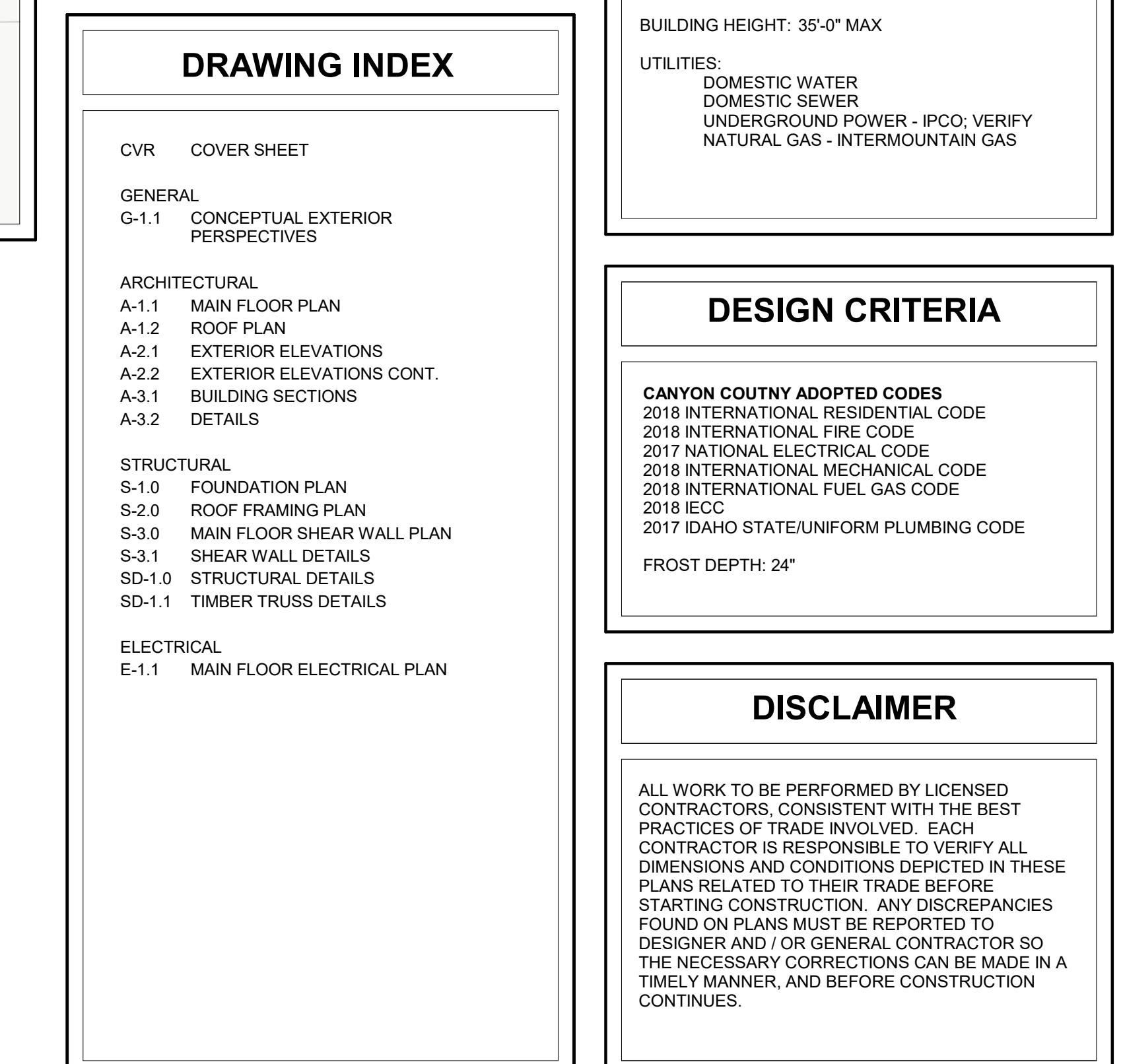
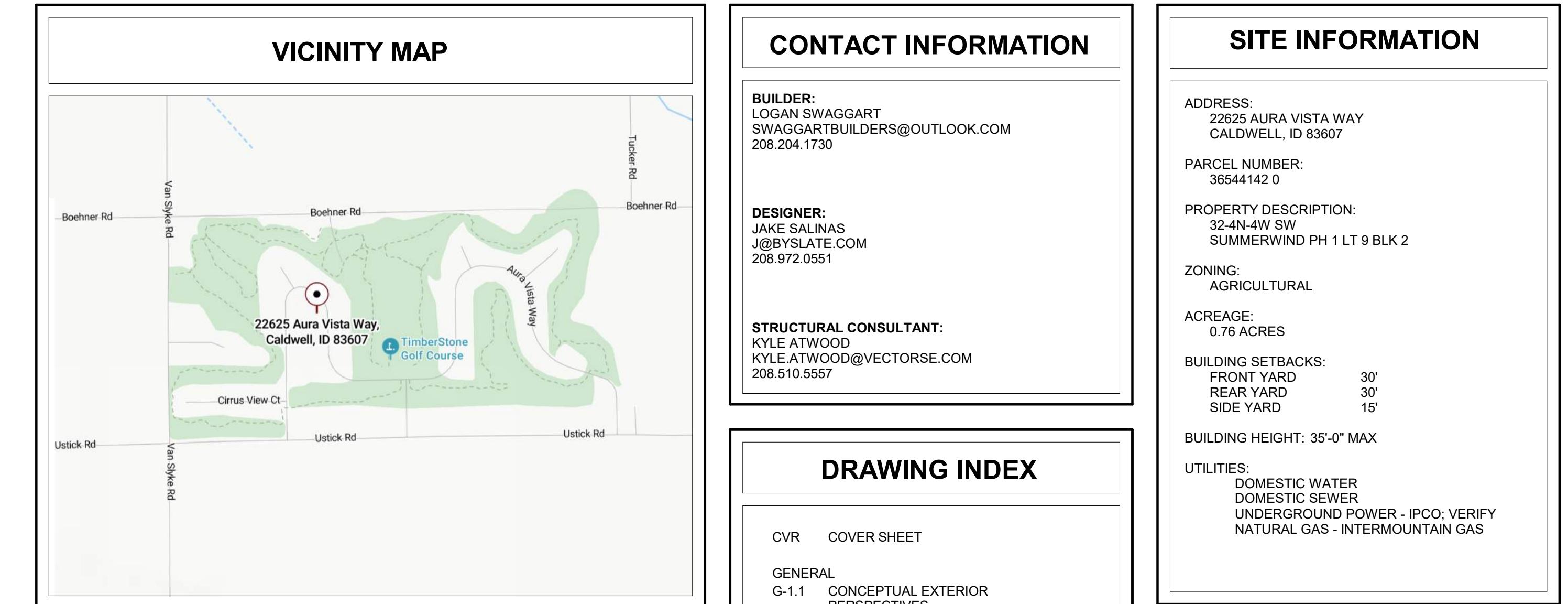
SWAGGART - TIMBERSTONE LOT 9 BLOCK 2

22625 AURA VISTA WAY
CALDWELL, ID 83607



1 SITE PLAN
1/16" = 1'-0"

2018 INTERNATIONAL RESIDENTIAL CODE (IRC)								
PROPOSED BLDG. HAS BEEN DESIGNED TO MEET OR EXCEED THE REQ. OF THE INTERNATIONAL RESIDENTIAL CODE PER (TABLE N1102.1.2)								
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT ^a								
CLIMATE ZONE	FENESTRATION U-FACTOR ^b	GLAZED FENESTRATION SHGC ^{b,e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE ^c	FLOOR R-VALUE	BASEMENT R-VALUE ^c	SLAB R-VALUE ^d
5	.30	NR	49	20 ^h	13/17	30 ^g	15/19	10, 2 ft
<p>a. R-VALUES ARE MINIMUMS. U-FACTORS AND SHGC ARE MAXIMUMS. WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.</p> <p>b. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS. THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION. EXCEPTION: SKYLIGHTS MAY BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATE ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30.</p> <p>c. "15/19" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/19" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN CLIMATE ZONES 1 THROUGH 3 FOR HEATED SLABS.</p> <p>d. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.</p> <p>e. BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE R301.1 AND TABLE R301.1.</p> <p>f. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM.</p> <p>g. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.</p> <p>h. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.</p>								



PROJECT NAME: SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
ADDRESS: 22625 AURA VISTA WAY
CALDWELL, ID 83607

ALL DRAWINGS TO BE REVIEWED BY CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ANY ERRORS, OMISSIONS, AND/OR CHANGES IN THE PLAN PRIOR TO CONSTRUCTION OR FABRICATION.

DATE DRAWN/REVISIONS:

1
2
3
4

COVER SHEET

SHEET NO:

CVR
ORIGINAL SHEET SIZE
24" x 36"

DESIGN BY
SLATE
P: 208.972.0551
E: J@BYSLATE.COM
WWW.BYSLATE.COM

PERMIT SET

08/27/2025



1 3D- FRONT LEFT VIEW



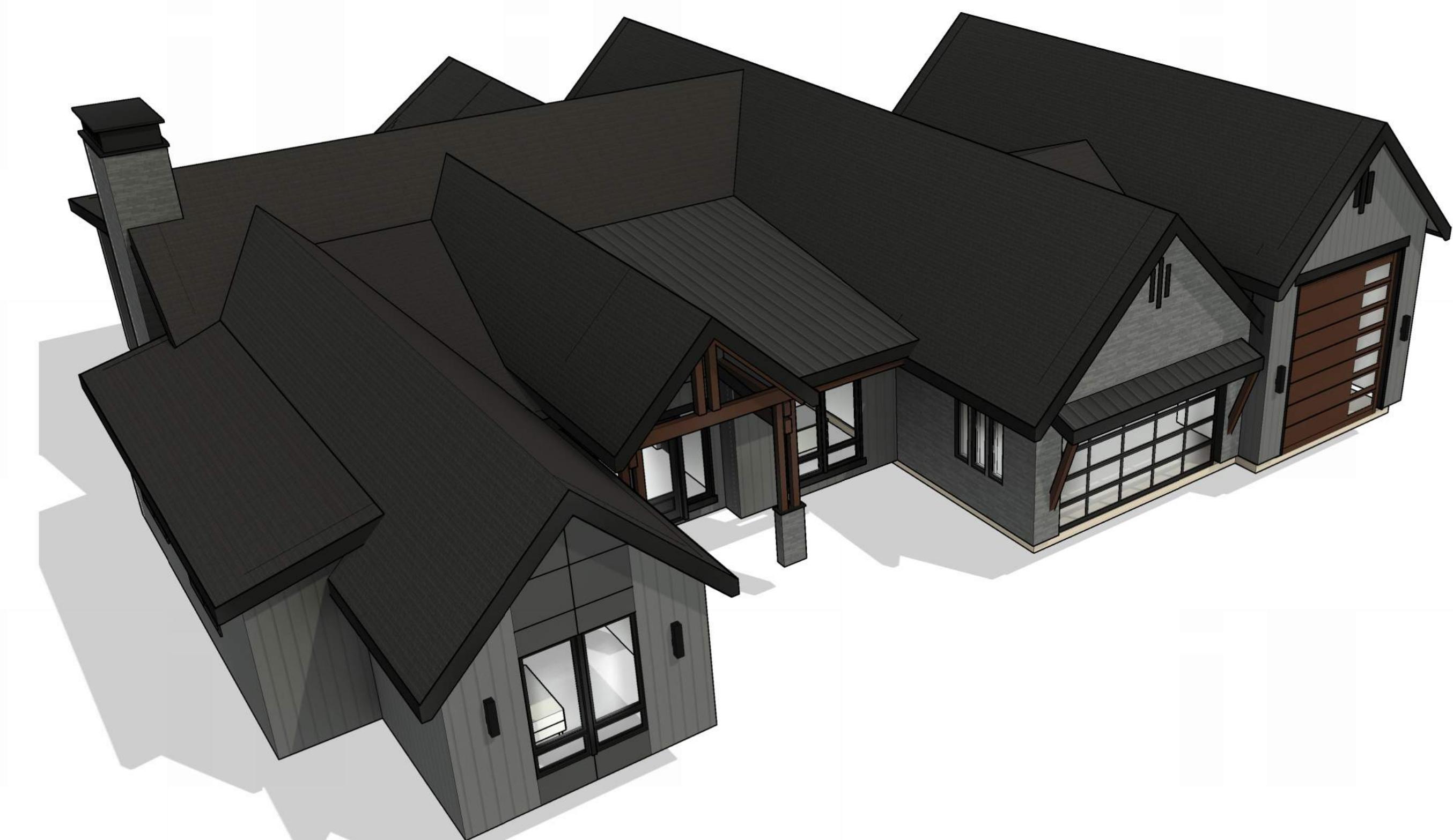
2 3D- FRONT RIGHT VIEW



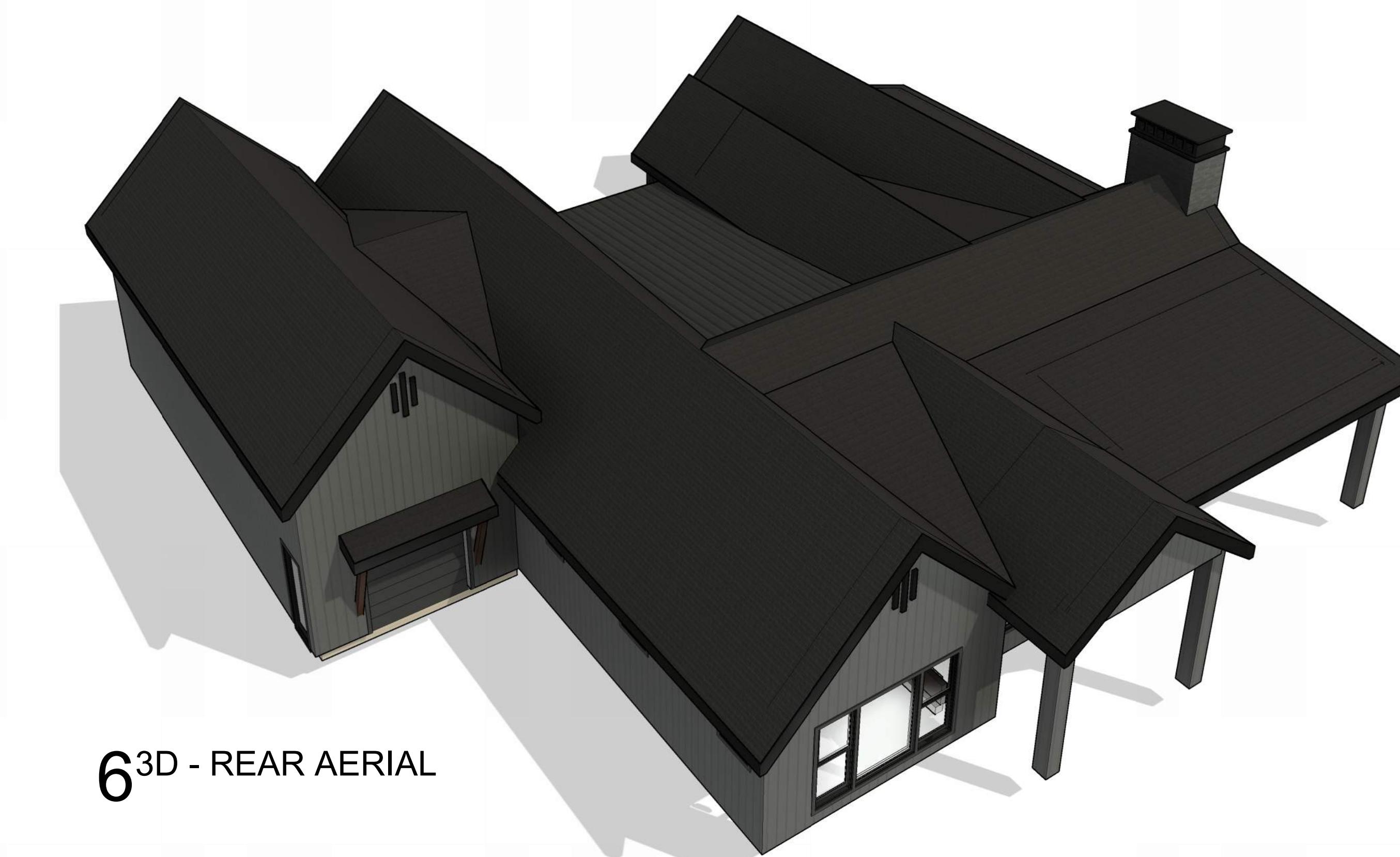
3 3D - REAR RIGHT VIEW



4 3D- REAR LEFT VIEW



5 3D - FRONT AERIAL



6 3D - REAR AERIAL

**CONCEPTUAL
EXTERIOR
PERSPECTIVES**

SHEET NO:

G-1.1

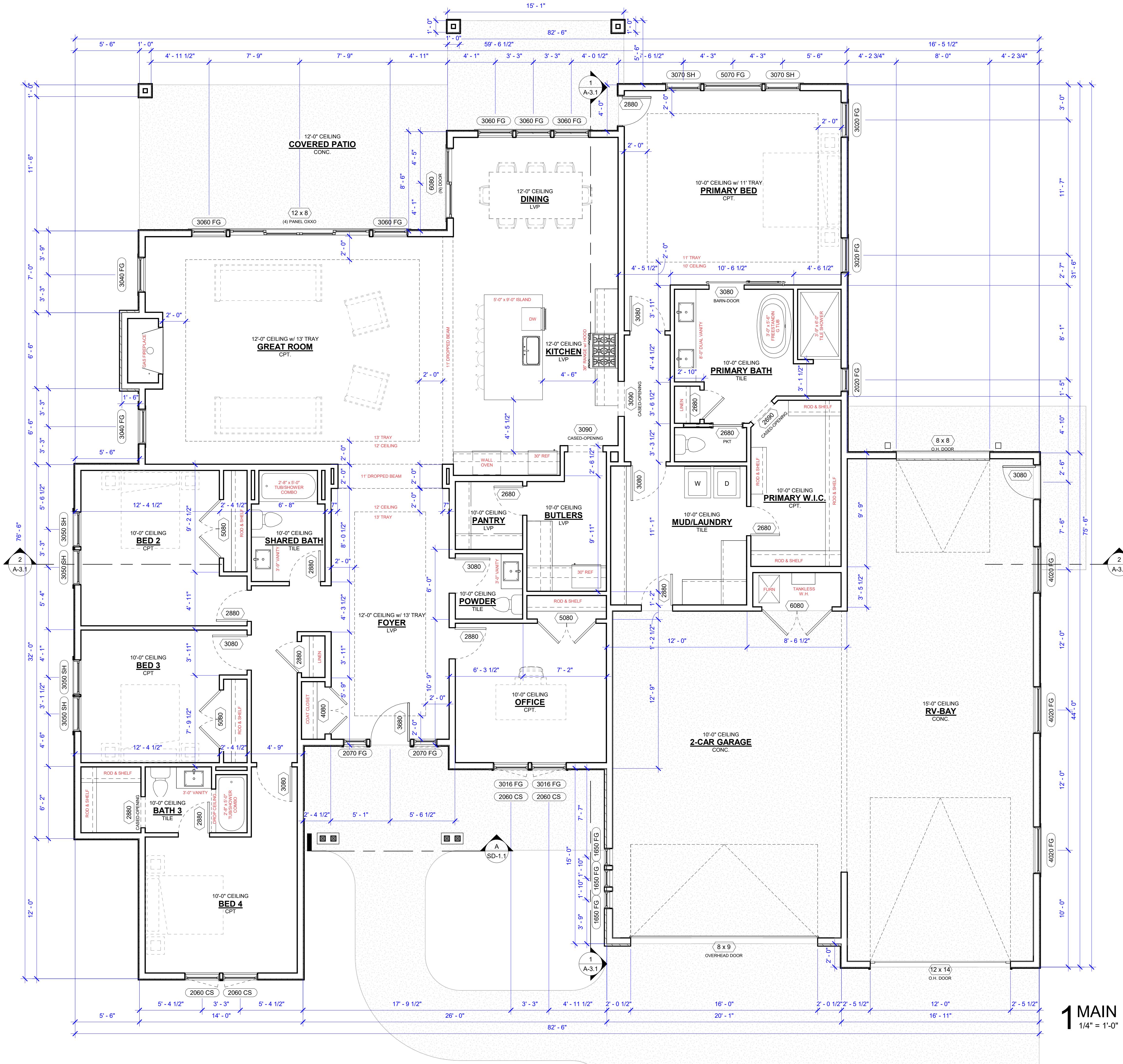
ORIGINAL SHEET SIZE
24" x 36"

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DATE DRAWN/REVISIONS:

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3
4

SHEET TITLE:



FLOOR PLAN GENERAL NOTES		
A.	DIMENSIONS ARE TO FACE OF STRUCTURAL MEMBER UNLESS OTHERWISE NOTED. DOOR & WINDOW OPENING DIMENSIONS ARE TO CENTERLINE OF OPENING. CONCRETE AND BRICK DIMENSIONS ARE GIVEN TO THE FACE OF CONCRETE OR MASONRY AND TO THE FACE OF ROUGH OPENINGS.	
B.	FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS (IF APPLICABLE). CREATE DIMENSION TEMPLATE BEFORE BEGINNING CONSTRUCTION. NOTIFY DESIGNER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES WITHIN DRAWINGS OCCUR BEFORE PROCEEDING WITH WORK.	
C.	LAYOUT & INDICATE ALL WALLS ON FLOOR PRIOR TO WALL CONSTRUCTION. IF LAYOUT DIFFERS FROM FLOOR PLAN NOTIFY ARCHITECT IMMEDIATELY FOR DIRECTION.	
D.	PROVIDE 5" DOOR JAMBS AT ADJACENT WALLS ON THE DOOR'S HINGE SIDE OR UNLESS OTHERWISE INDICATED.	
E.	REFERENCE STRUCTURAL DRAWINGS FOR ADDITIONAL WALL REQUIREMENTS.	
F.	WHEN APPLICABLE - UNLESS NOTED OTHERWISE, USE CDX PLYWOOD FOR EXTERIOR APPLICATIONS AND BCD PLYWOOD FOR INTERIOR APPLICATIONS.	
G.	SLOPE AWAY FROM DWELLING 5% IN ALL DIRECTIONS FOR 10'-0" AND 2% THEREAFTER.	
H.	GENERAL CONTRACTOR/SUPERINTENDENT TO VERIFY ALL SETBACKS AND EASEMENTS.	
I.	COORDINATE ALL ROOF PENETRATIONS w/ MECHANICAL AND PLUMBING CONTRACTOR	

AREA CALCS		
NAME	PLATE HEIGHT	PROPOSED AREA
MAIN FLOOR	10' 1-1/8" OR 12'-1-1/8"	3268 SF
CONDITIONED		3268 SF
2-CAR GARAGE	10' 1-1/8"	591 SF
RV-BAY	15' 1-1/8"	739 SF
UNCONDITIONED		1330 SF
PROPOSED TOTAL AREA		4598 SF

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Caldwell, ID 83607

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THE PLAN PRIOR TO
CONSTRUCTION OR FABRICATION.

DATE DRAWN/REVISIONS:

1
2
3
4

SHEET TITLE:

MAIN
FLOOR
PLAN

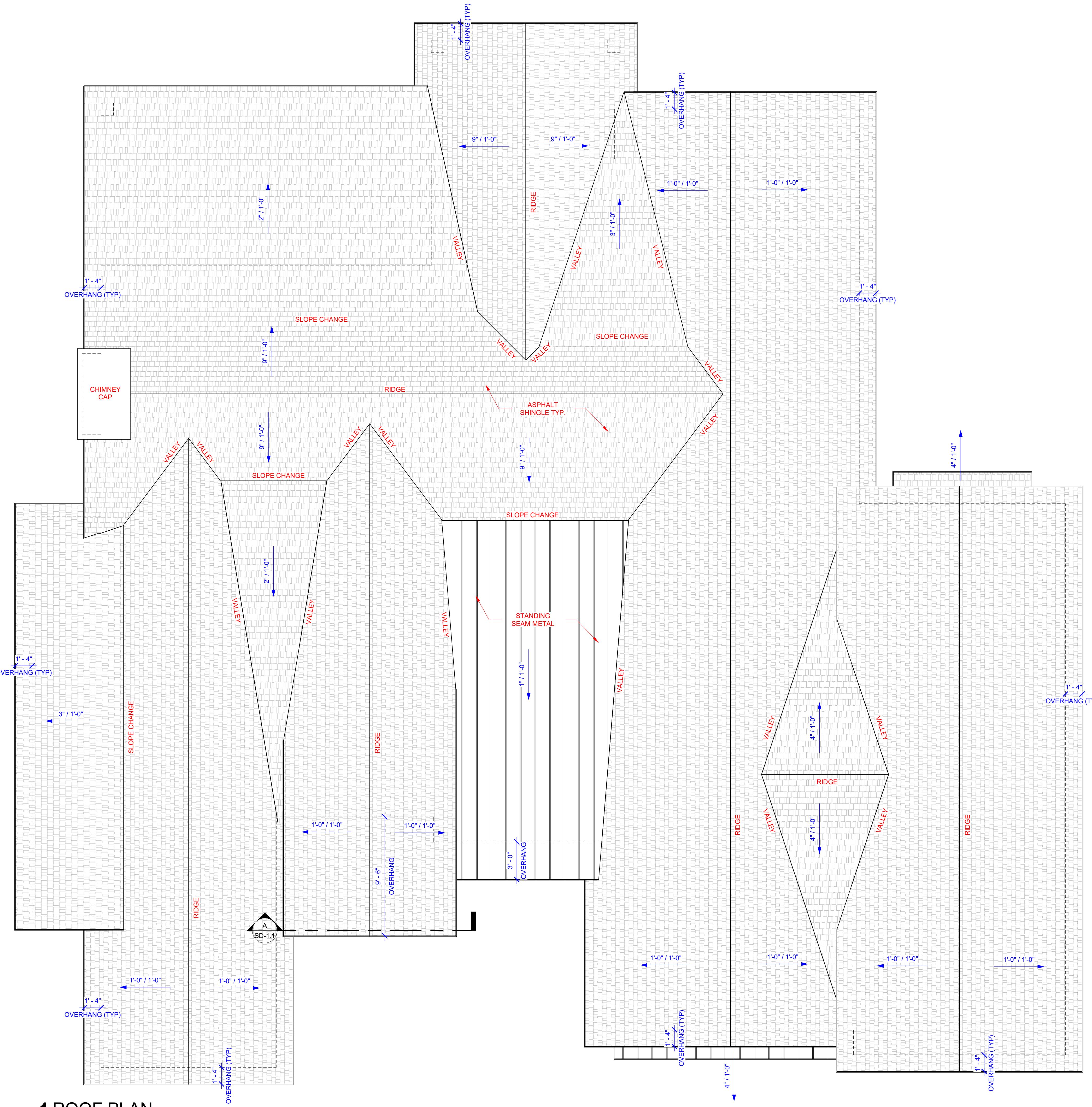
SHEET NO:

A-1.1
ORIGINAL SHEET SIZE
24" x 36"

DESIGN BY
SLATE
P: 208.972.0551
E: JJB@SLATE.COM
WWW.BYSLATE.COM

PERMIT SET

08/27/2025



1 ROOF PLAN
1/4" = 1'-0"

ROOF GENERAL NOTES	
A.	COORDINATE ROOF PENETRATIONS WITH MECHANICAL AND PLUMBING SUBCONTRACTORS.
B.	FLASH AROUND ALL VENT AND PIPE PENETRATIONS PER MANUFACTURERS STANDARD DETAILS.
C.	THE ENTIRE ROOF SYSTEM IS TO BE DESIGNED BY AN IDAHO LICENSED STRUCTURAL ENGINEER. SUBMIT TRUSS LAYOUT AND PROFILE DRAWINGS TO THE GENERAL CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE FOR DESIGN GUIDANCE ONLY.
D.	VERIFY ALL DRAINAGE FROM ROOF IS FUNCTIONING AND DRAINING WITHOUT WATER INTRUSION. DETERMINE ABILITY OF DRAINAGE TO CONTINUE PROPER USE.
E.	PROVIDE GALANIZED PRE-FINISHED (COLOR AS SELECTED BY OWNER) FLASHINGS, COUNTER-FLASHINGS, REGLETS, DRIP-EDGES, VENTS, AND COPINGS OF MIN. 22 GAUGE.
F.	UNLESS OTHERWISE NOTED, PROVIDE MINIMUM, #60 ASPHALT INFUSED ROOFING FELT BEANEATH ALL NON-METAL ROOFING SYSTEMS.
G.	PROVIDE BITUMINOUS RUBBERIZED ASPHALT WATER-PROOF ICE/WATER SHIELD BENEATH ALL METAL ROOFING SYSTEMS IF APPLICABLE.
H.	UNLESS OTHERWISE NOTED, ALL ROOF AREAS ARE TO BE INSULATED WITH MINIMUM R-38 BATT INSULATION AND PROVIDED WITH CONTINUOUS GALANIZED INSULATION BAFFLE AT PERIMETER OF ROOF.
I.	ALL ROOF AREAS ARE TO BE CROSS VENTED AT 1/150 SQUARE FEET. ALL VENTS ARE TO MATCH COLOR SELECTED BY OWNER AND INCLUDE CORROSION RESISTANT INSECT SCREEN.
J.	UNLESS OTHERWISE NOTED, ENTIRE ROOF SYSTEM IS TO BE VENTED THROUGH CONTINUOUS SOFFIT VENTS.

MIN. ATTIC VENTILATION CALCS	
REQUIRED: 4,958 SF (ATTIC AREA) /150 = 33.05 SF OF REQUIRED VENTILATION	
33.05 x 144 = 4,795.68 SQ IN	
(CONTINUOUS VENT) 7.53 SQ. IN. PER SQ. FT.	
4,795.68 / 7.53 = 632.1 SQ FT OF VENTING REQUIRED	
1,573.92 SQ IN IN SOFFIT VENTING AREA PROVIDED	
1,573.92 SQ IN > 632.1 SQ IN	

PROJECT NAME:
SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
ADDRESS:
22625 AURA VISTA WAY
CALDWELL, ID 83607

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CONSTRUCTION OR FABRICATION.

DATE DRAWN/REVISIONS:

1
2
3
4

SHEET TITLE:

ROOF PLAN

SHEET NO:

A-1.2
ORIGINAL SHEET SIZE
24" x 36"

DESIGN BY
SLATE
P: 208.972.0551
E: J@BYSLATE.COM
WWW.BYSLATE.COM

PERMIT SET

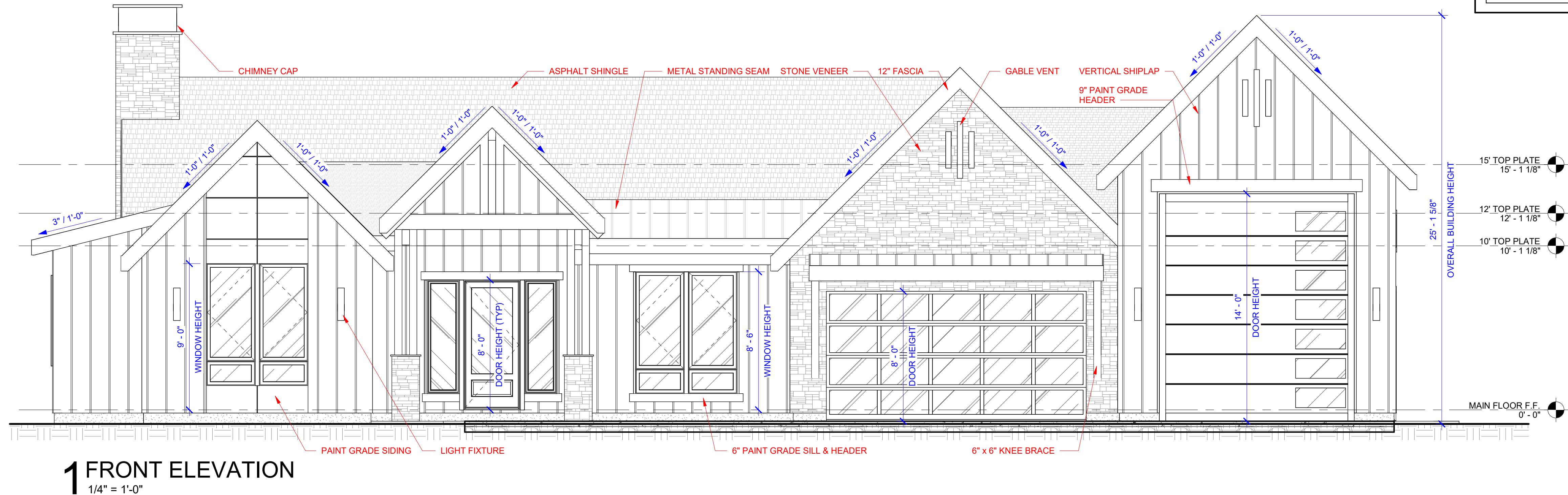
08/27/2025

PERMIT SET

08/27/2025

ELEVATION GENERAL NOTES

- A. THE REFERENCE ELEVATIONS MARKED ↑ REPRESENT VERTICAL HEIGHTS RELATIVE TO INTERIOR FLOOR DATUM ASSUMED AT +100.00.
- B. DRAWINGS & SPECIFICATIONS ARE COMPLEMENTARY COMPONENTS OF THE CONTRACT DOCUMENTS. REVIEW ALL DRAWINGS AND SPECIFICATIONS FOR THE COMPLETE SCOPE OF WORK. IF ANY DISCREPANCIES OCCUR, NOTIFY THE GENERAL CONTRACTOR/DESIGNER FOR CLARIFICATION.
- C. ALL EXTERIOR LIGHT FIXTURES TO BE COORDINATED WITH GENERAL CONTRACTOR AND OWNER.
- D. COORDINATE WINDOW SIZES, TYPE AND COLOR WITH GENERAL CONTRACTOR AND OWNER. FOR BIDDING PURPOSES, ALL WINDOWS TO BE BLACK ALUMINUM STOREFRONT.
- E. ALL EXPOSED CONDUIT TO BE PAINTED TO MATCH ADJACENT WALL COLOR.
- F. PROVIDE 24 GAUGE PRE-FINISHED METAL FLASHING, Drip EDGE, AND TRIM TO MATCH ROOFING COLOR OR AS SELECTED BY OWNER.
- G. PROVIDE CONTINUOUS PRE-FINISHED 22 GAUGE METAL GUTTER AND DOWNSPOUT TO MATCH FLASHING OR TRIM AT ALL ROOF EAVES.
- H. ALL EXTERIOR EXPOSED, SEMI-EXPOSED / CONCEALED AND UN-TREATED WOOD IS TO BE STAINED AND SEALED.



PROJECT NAME: SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
ADDRESS: 22625 AURA VISTA WAY CALDWELL, ID 83607

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DATE DRAWN/REVISIONS:

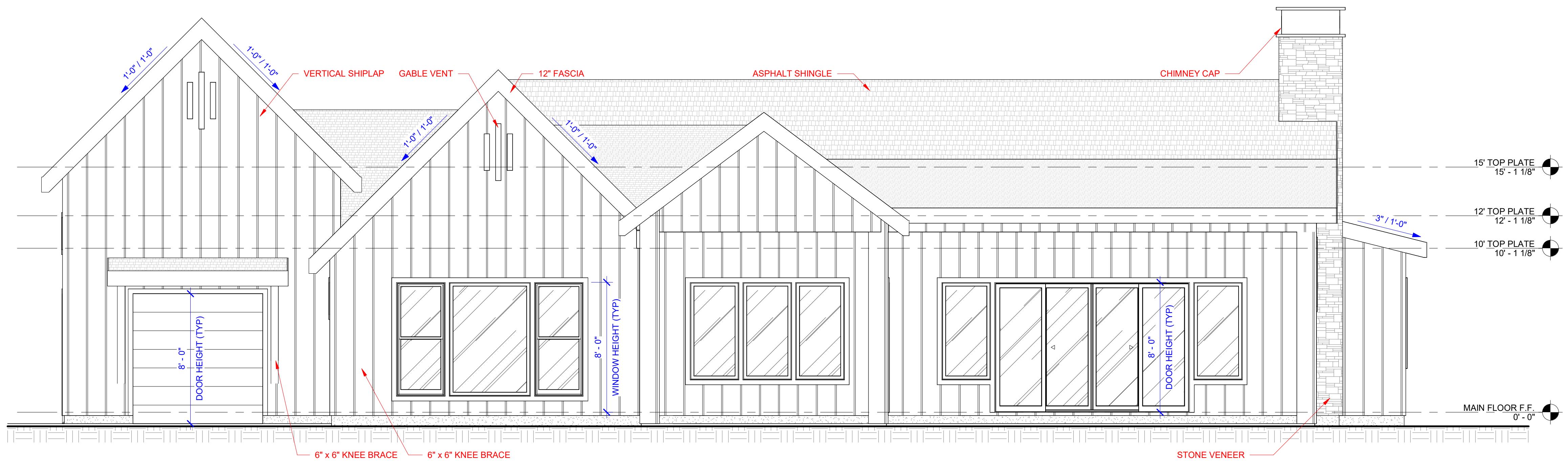
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SHEET TITLE:

EXTERIOR ELEVATIONS

SHEET NO:

A-2.1
ORIGINAL SHEET SIZE
24" x 36"

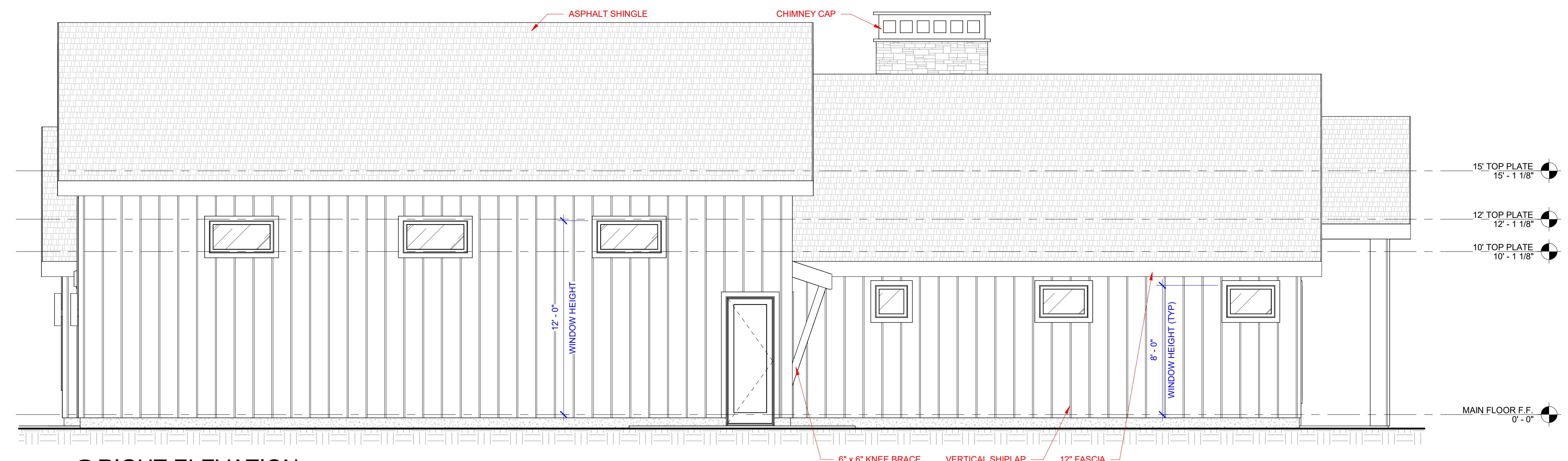
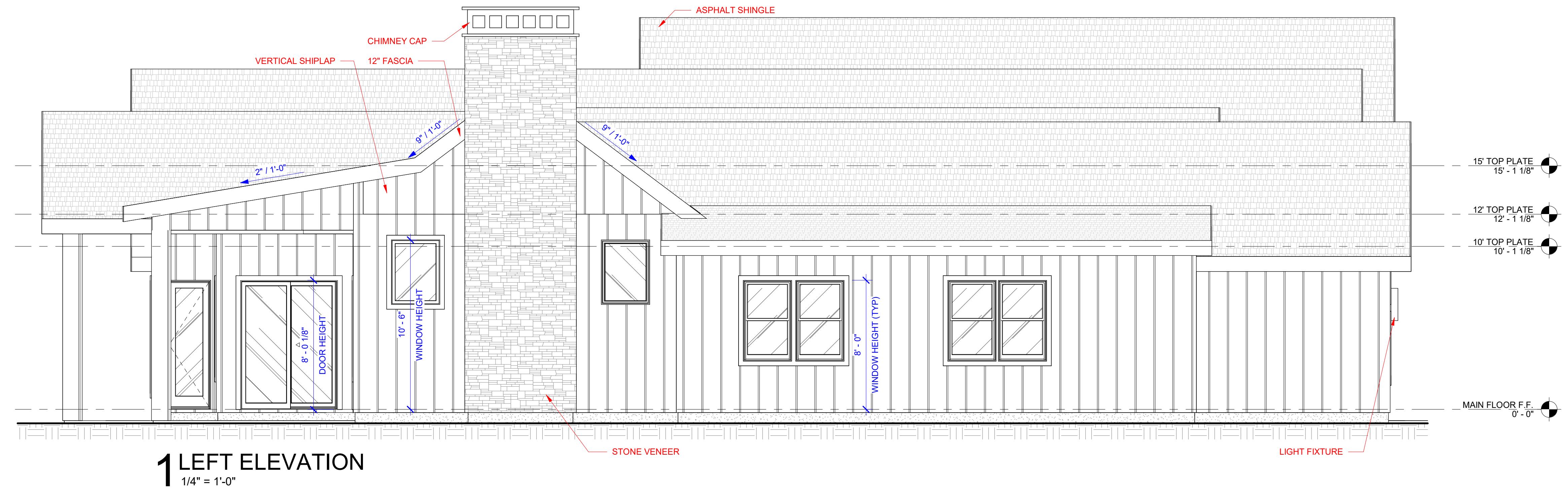


PERMIT SET

08/27/2025

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- C. ALL EXTERIOR LIGHT FIXTURES TO BE COORDINATED WITH GENERAL CONTRACTOR AND OWNER.
- D. COORDINATE WINDOW SIZES, TYPE AND COLOR WITH GENERAL CONTRACTOR AND OWNER. FOR BIDDING PURPOSES, ALL WINDOWS TO BE BLACK ALUMINUM STOREFRONT.
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- G. PROVIDE CONTINUOUS PRE-FINISHED 22 GAUGE METAL GUTTER AND DOWNSPOUT TO MATCH FLASHING OR TRIM AT ALL ROOF EAVES.
- H. ALL EXTERIOR EXPOSED, SEMI-EXPOSED / CONCEALED AND UN-TREATED WOOD IS TO BE STAINED AND SEALED.



PROJECT NAME:
SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
ADDRESS:
22625 AURA VISTA WAY
CALDWELL, ID 83607

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DATE DRAWN/REVISIONS:

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SHEET TITLE:

EXTERIOR
ELEVATIONS
CONT.

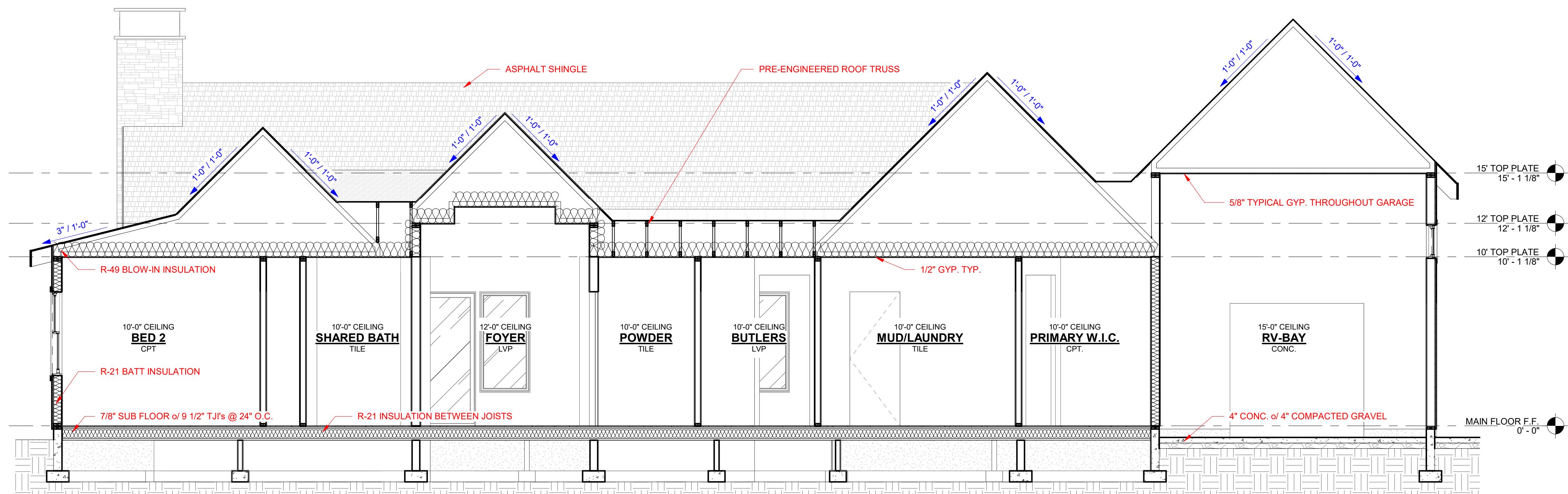
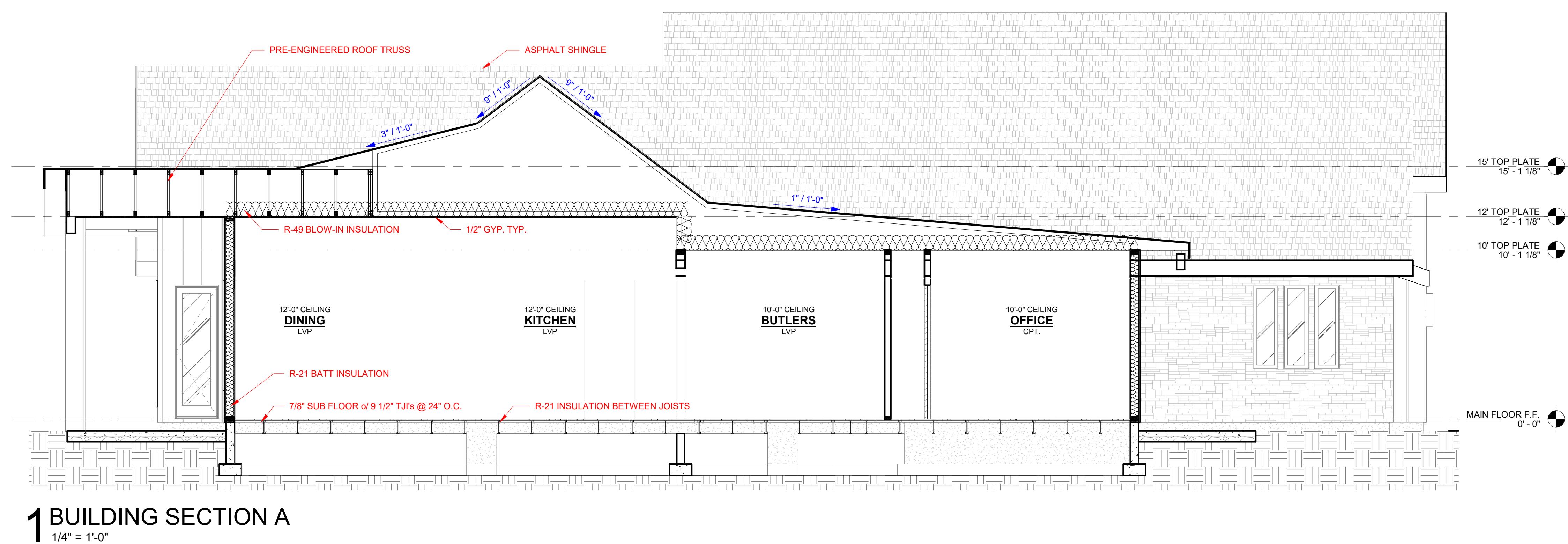
SHEET NO:

A-2.2
ORIGINAL SHEET SIZE
24" x 36"

PERMIT SET

08/27/2025

PROJECT NAME: SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
ADDRESS: 22625 AURA VISTA WAY
Caldwell, ID 83607



BUILDING
SECTIONS

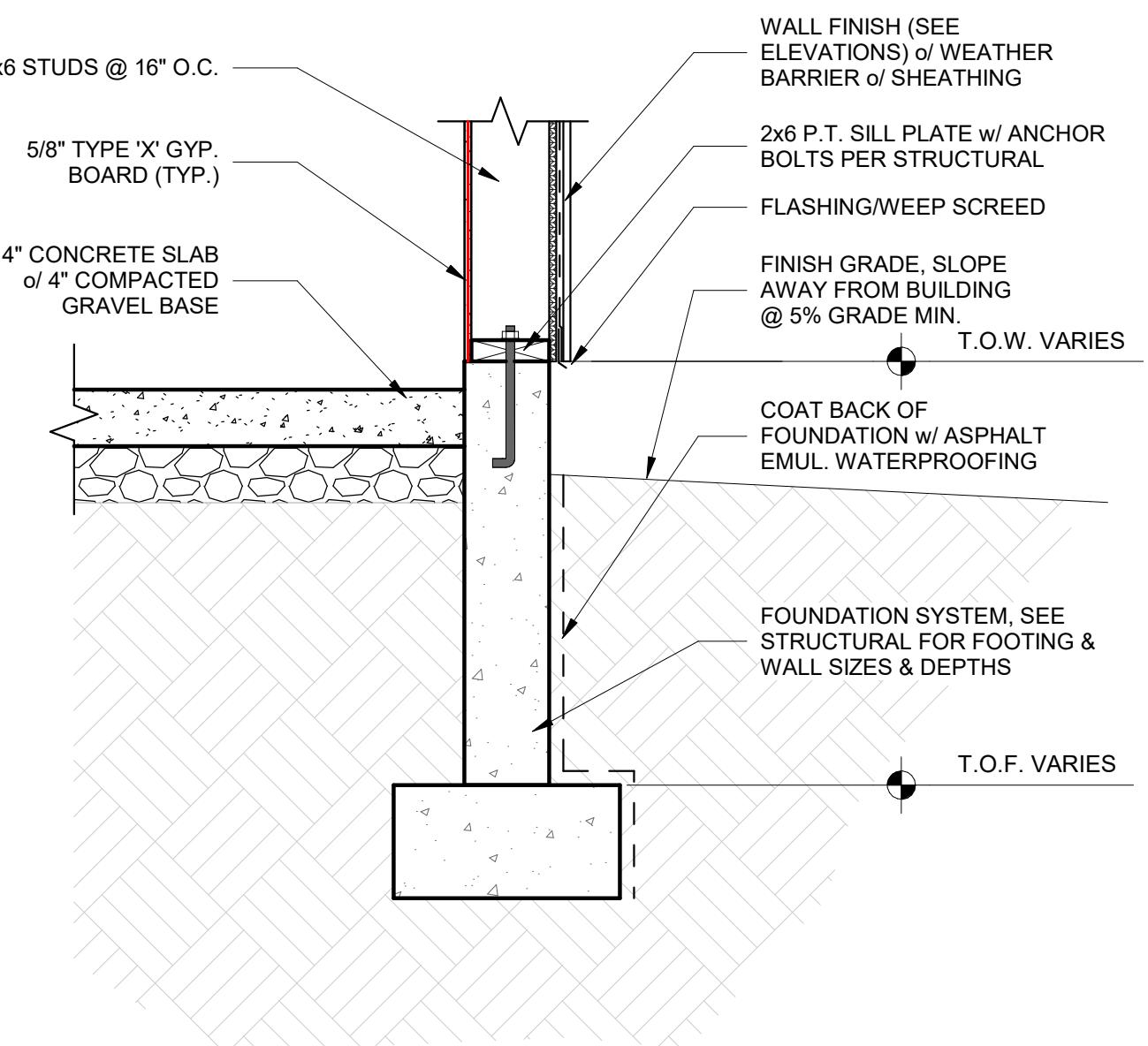
SHEET NO:

A-3.1
ORIGINAL SHEET SIZE
24" x 36"

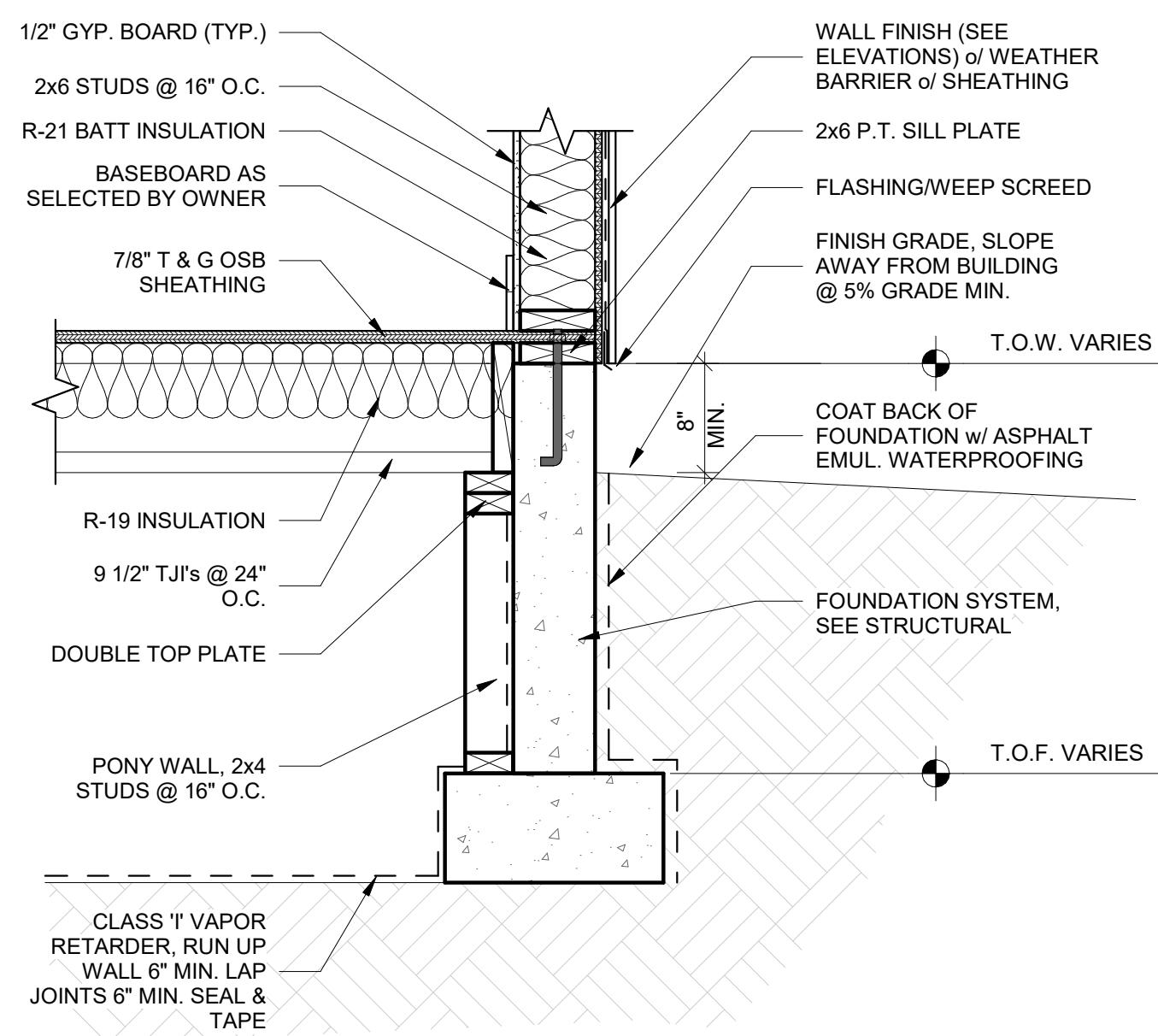
PERMIT SET

08/27/2025

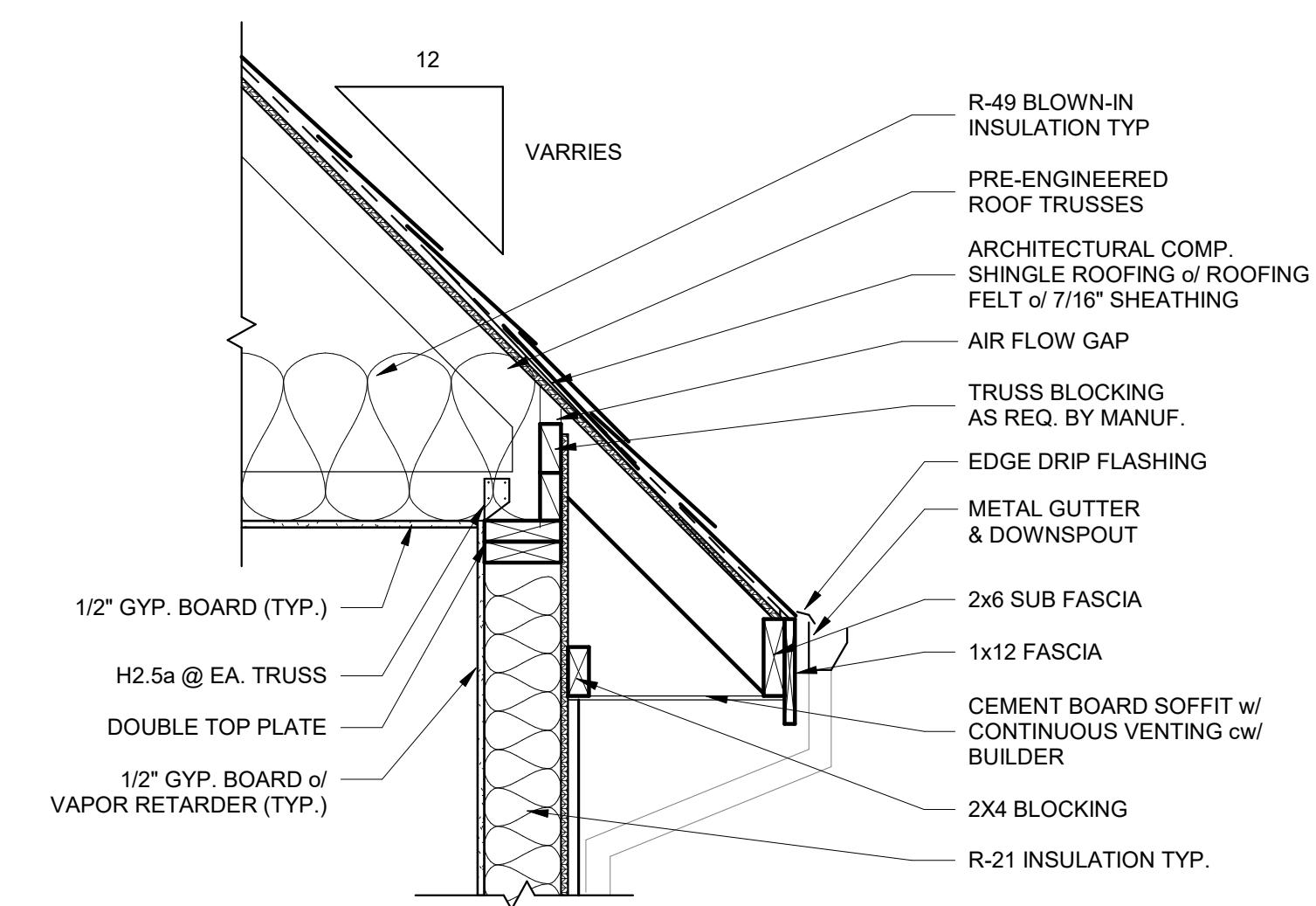
PROJECT NAME: SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
ADDRESS: 22625 AURA VISTA WAY
Caldwell, ID 83607



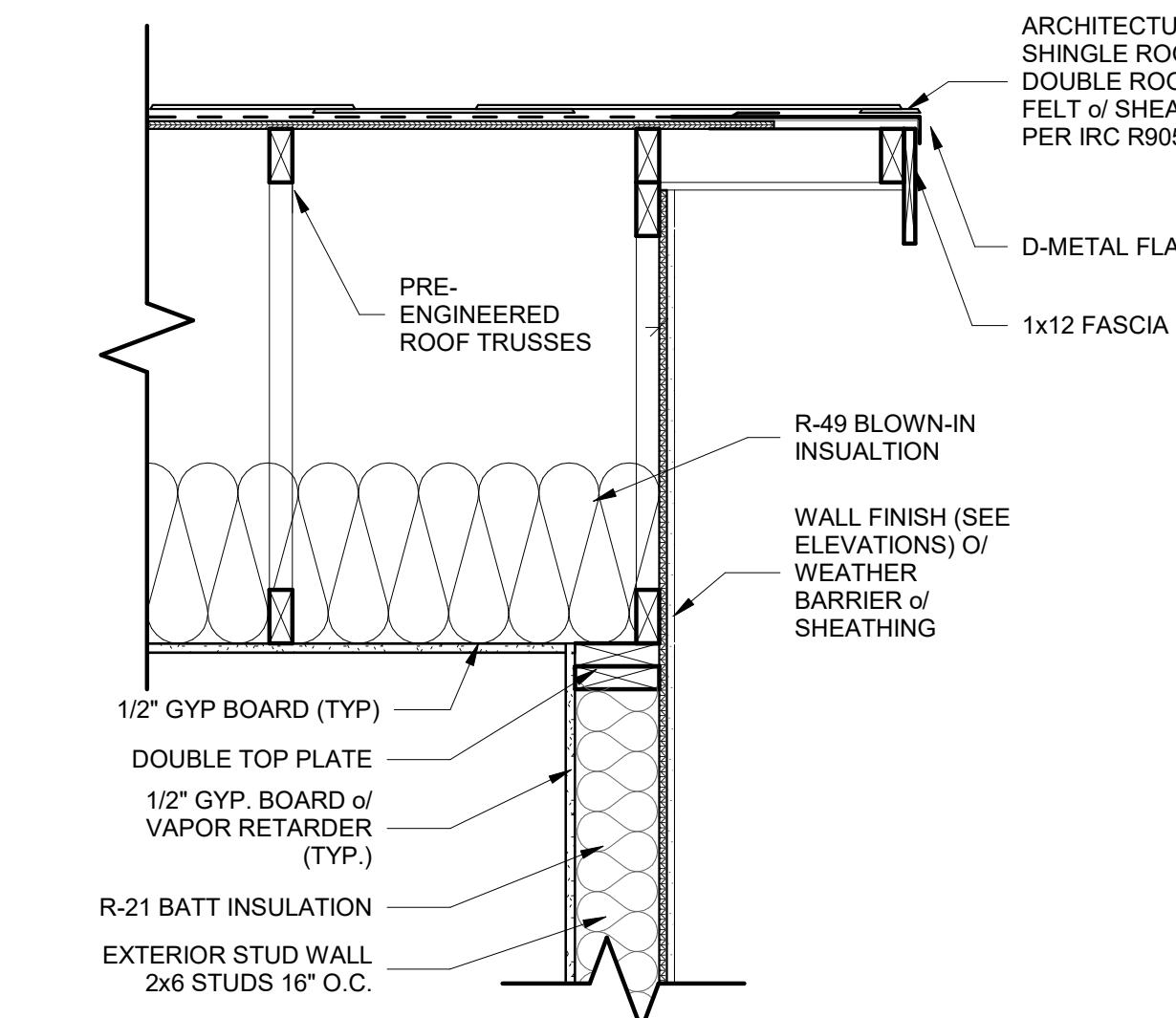
1 BOTTOM OF WALL @ GARAGE
1" = 1'-0"



2 BOTTOM OF WALL @ LIVING
1" = 1'-0"



3 EAVE DETAIL TYP.
1" = 1'-0"



4 RAKE DETAIL TYP.
1" = 1'-0"

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DATE DRAWN/REVISIONS:

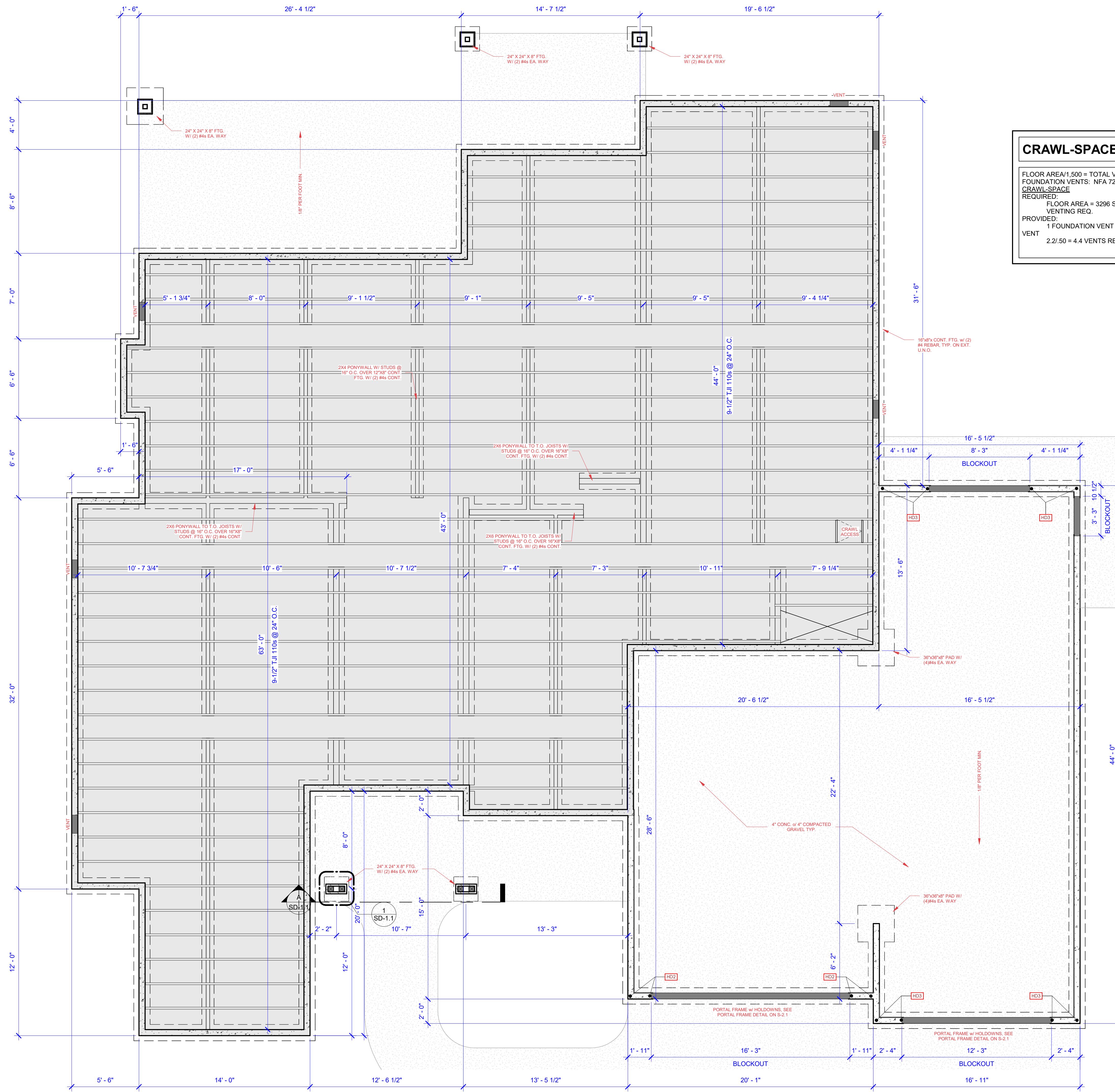
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SHEET TITLE:

DETAILS

SHEET NO:

A-3.2
ORIGINAL SHEET SIZE
24" x 36"



HOLDOWN SCHEDULE

MARK	STRAP TYPE	STRAP	# OF STUDS	ANCHOR BOLT	# OF STUDS	FASTENERS SDS
HD2	STHD10 OR STHD10RJ W/ RIM	(24) 16d SINKERS	2	HDU4-SDS2.5 W/ SB 5/8x24 OR PAB5 @ INT. PONY WALLS	2	(6) 1/4" X 2-1/2" SDS
HD3	STH14 OR STHD14RJ W/ RIM	(30) 16d SINKERS	2	HDU5-SDS2.5 W/ SB 5/8x24 OR PAB5 @ INT. PONY WALLS	2	(14) 1/4" X 2-1/2" SDS

CRAWL-SPACE VENTILATION

FLOOR AREA/1,500 = TOTAL VENTING AREA
FOUNDATION VENTS: NFA 72.5 SQ. INCHES (.50 SQ FT.)
CRAWL-SPACE
REQUIRED:
FLOOR AREA = 3296 SF/1500 = 2.2 SF
VENTING REQ.
PROVIDED:
1 FOUNDATION VENT = .50 SF NET FREE AREA PER
VENT
2.2/.50 = 4.4 VENTS REQ. (6 VENTS PROVIDED)

NOTE:

1. SAME DIMENSIONED OR LARGER MANUFACTURED LUMBER (LVL, LSL, GLU-LAM, ETC.) MAY BE DIRECTLY SUBSTITUTED FOR SOLID SAWN LUMBER
2. HOLDOWNS AND ANCHOR BOLTS BY SIMPSON STRONG-TIE
3. FOLLOW MANUF. INSTALLATION DETAILS FOR ANCHOR BOLT PLACEMENT AND SUPPLEMENTAL REINFORCING.
4. WOOD FASTENERS SHALL BE TYPE, SIZE, AND QUANTITY PER MANUF. - FILL ALL FASTENER HOLES IN HOLDOWN EXTERIOR CONCRETE FOUNDATION: 6"x30" CONCRETE STEM WALL ON A 1-2" WIDE FOOTING INTERIOR CONCRETE FOOTING: 1'-0" WIDE x 8"

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Caldwell, ID 83607

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CONSTRUCTION OR FABRICATION.

DATE DRAWN/REVISIONS:

1
2
3
4

SHEET TITLE:

**FOUNDATION
PLAN**

SHEET NO:

S-1.0
ORIGINAL SHEET SIZE
24" x 36"

DESIGN BY
SLATE
P: 208.972.0551
E: JGBYSLATE.COM
WWW.BYSLATE.COM

PERMIT SET

08/27/2025

08/27/2025

PROJECT NAME: SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
ADDRESS: 22625 AURA VISTA WAY CALDWELL, ID 83607

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DATE DRAWN/REVISIONS:

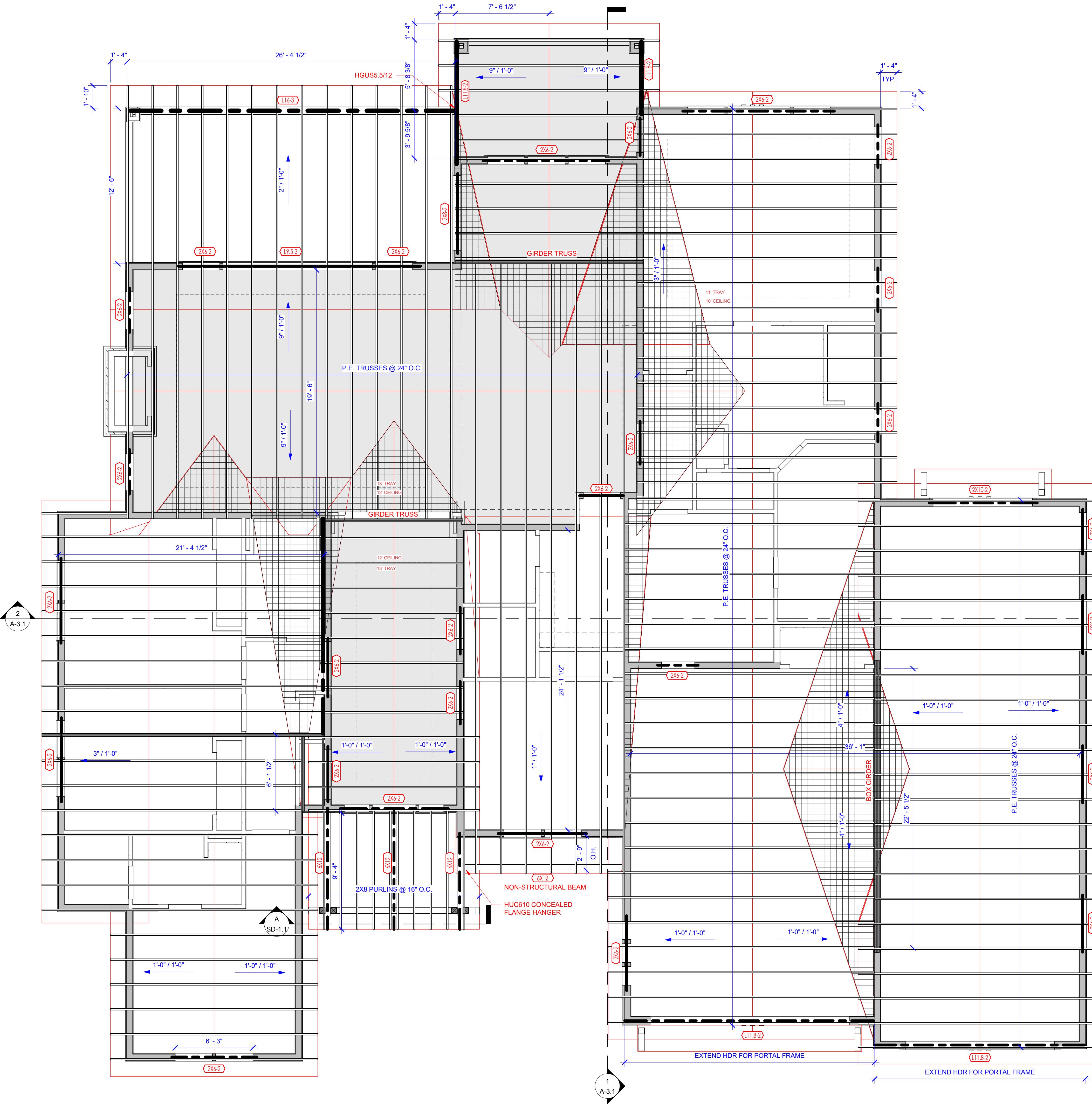
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2
3
4

SHEET TITLE:

ROOF
FRAMING
PLAN

SHEET NO:

S-2.0
ORIGINAL SHEET SIZE
24" x 36"



1 ROOF FRAMING PLAN
1/4" = 1'-0"

BEAM/HEADER SCHEDULE			
MARK	BEAM/HDR DESCRIPTION	BEAM NOTES	QTY
2X6-2	(2) 2X6 DF #2	(1) TRIMMER & (1) K.S. TYP. U.N.O.	27
2X8-2	(2) 2X8 DF #2	(1) TRIMMER & (1) K.S.	2
2X10-2	(2) 2X10 DF #2		1
6X12	6X12 BEAM		4
L9.5-3	(3) 9-1/2" LVL		1
L11.8-2	<varies>		4
L16-3	(3) 16" LVL		1

FRAMING NOTES:

WALL FRAMING NOTES:

1. FOR 10FT TALL WALLS: FRAME W/ 2X6 DF #2 STUDS @ 16" O.C. W/ (1) TRIMMER @ (1) K.S. @ EACH END OF EACH OPENING U.N.O.
2. FOR 12FT TALL WALLS: FRAME W/ 2X6 DF #2 STUDS @ 16" O.C. W/ (1) TRIMMER @ (1) K.S. @ EACH END OF EACH OPENING U.N.O.
3. FOR 15FT TALL WALLS: FRAME W/ 2X6 DF #2 STUDS @ 16" O.C. W/ (1) TRIMMER @ (2) K.S. @ EACH END OF EACH OPENING U.N.O.

TYP. FRAMING NOTES:

1. SAME DIMENSIONED OR LARGER MANUFACTURED LUMBER (LVL, LSL, GLU-LAM, ETC.) MAY BE DIRECTLY SUBSTITUTED FOR SOLID SAWN LUMBER.
2. HOLDOWNS AND ANCHOR BOLTS BY SIMPSON STRONG-TIE.
3. FOLLOW MANUF. INSTALLATION DETAILS FOR ANCHOR BOLT PLACEMENT AND SUPPLEMENTAL REINFORCING.
4. WOOD FASTENERS SHALL BE TYPE, SIZE, AND QUANTITY PER MANUF. - FILL ALL FASTENER HOLES IN HOLDOWN TRUSS TO TRUSS AND TRUSS TO BEAM CONNECTION PER TRUSS MANUFACTURER'S SPECS.

PERMIT SET

08/27/2025

PROJECT NAME: SWAGGART - TIMBERSTONE LOT 9 BLOCK 2

ADDRESS: 22625 AURA VISTA WAY
CALDWELL, ID 83607

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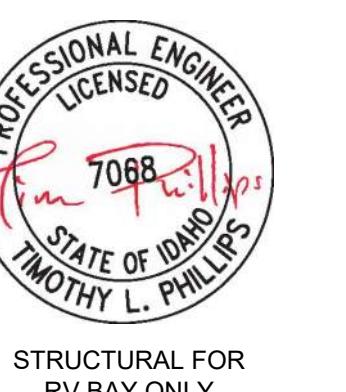
DATE DRAWN/REVISIONS:

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3
4

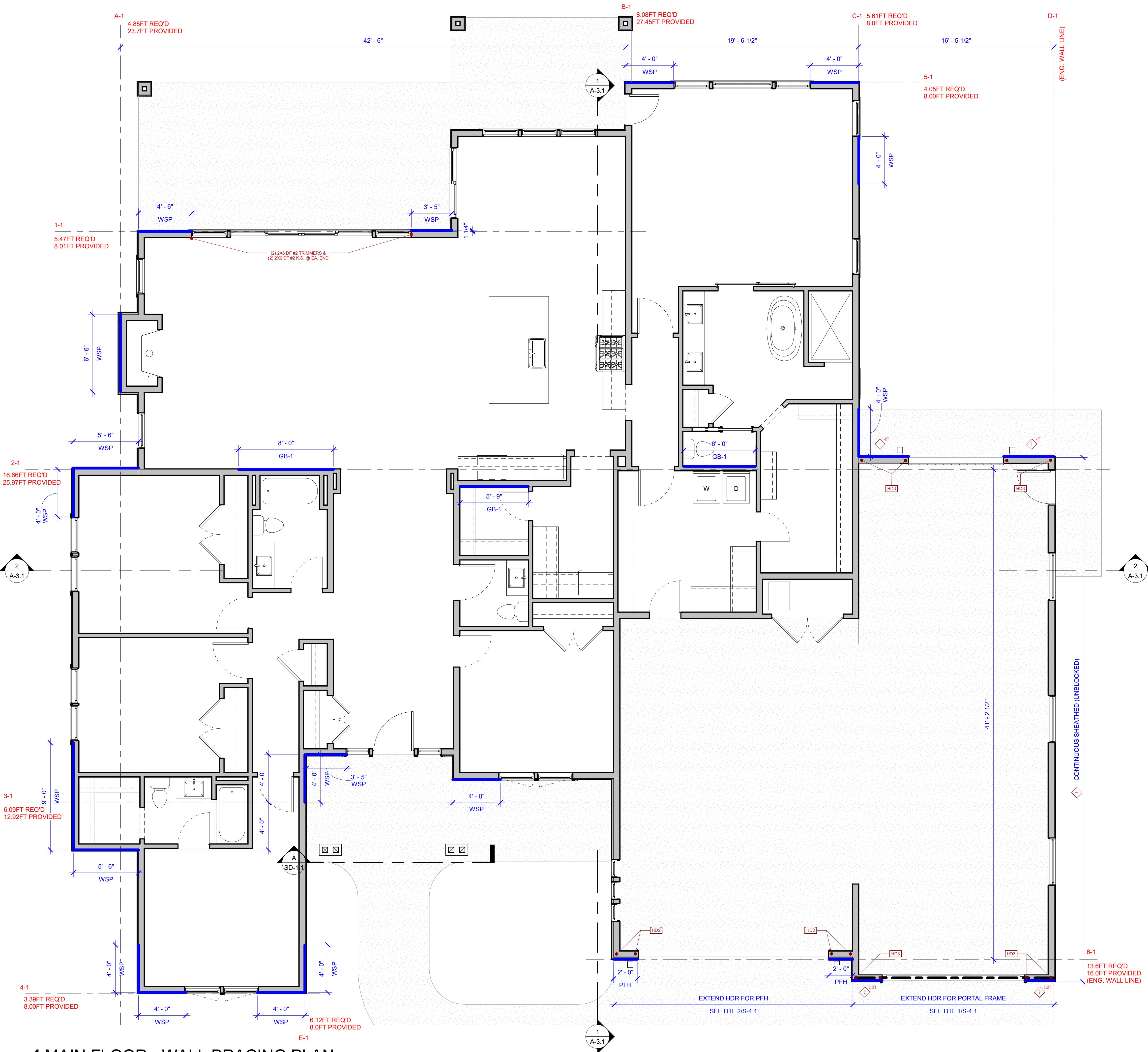
SHEET TITLE:
**MAIN
FLOOR
SHEAR
WALL
PLAN**

SHEET NO:

S-3.0
ORIGINAL SHEET SIZE
24" x 36"



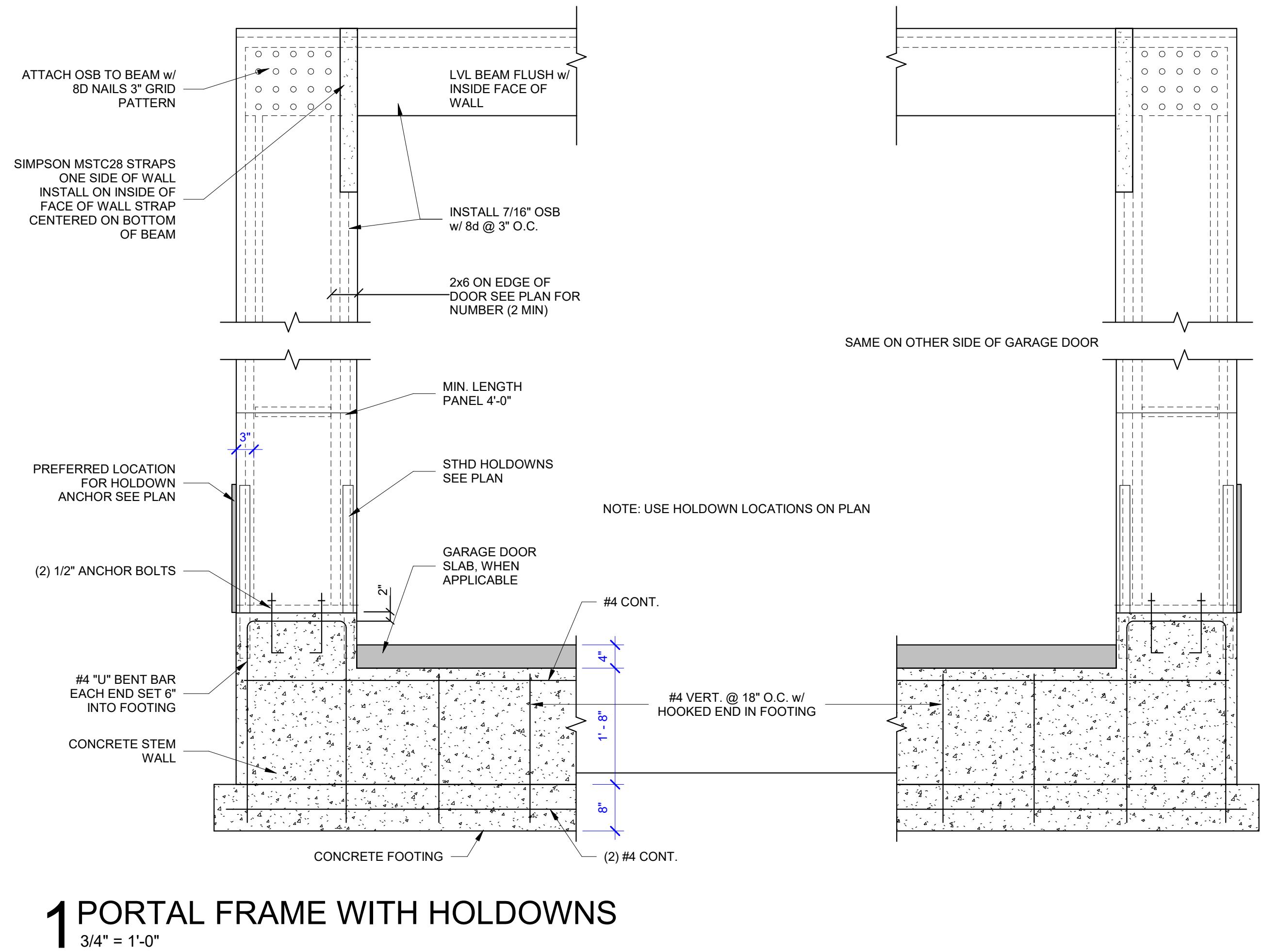
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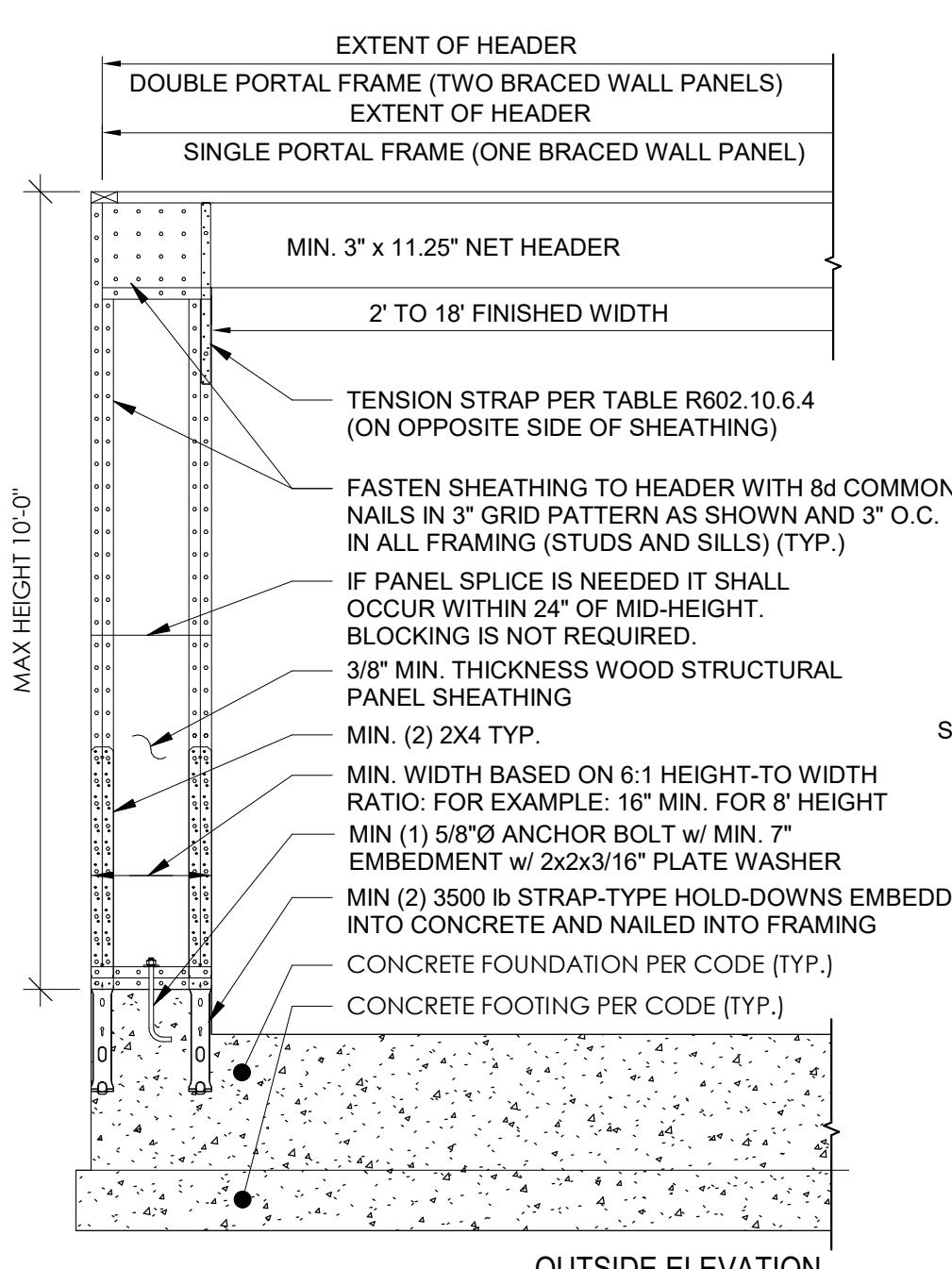
08/27/2025

SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
PROJECT NAME: SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
ADDRESS: 22625 AURA VISTA WAY
Caldwell, ID 83607



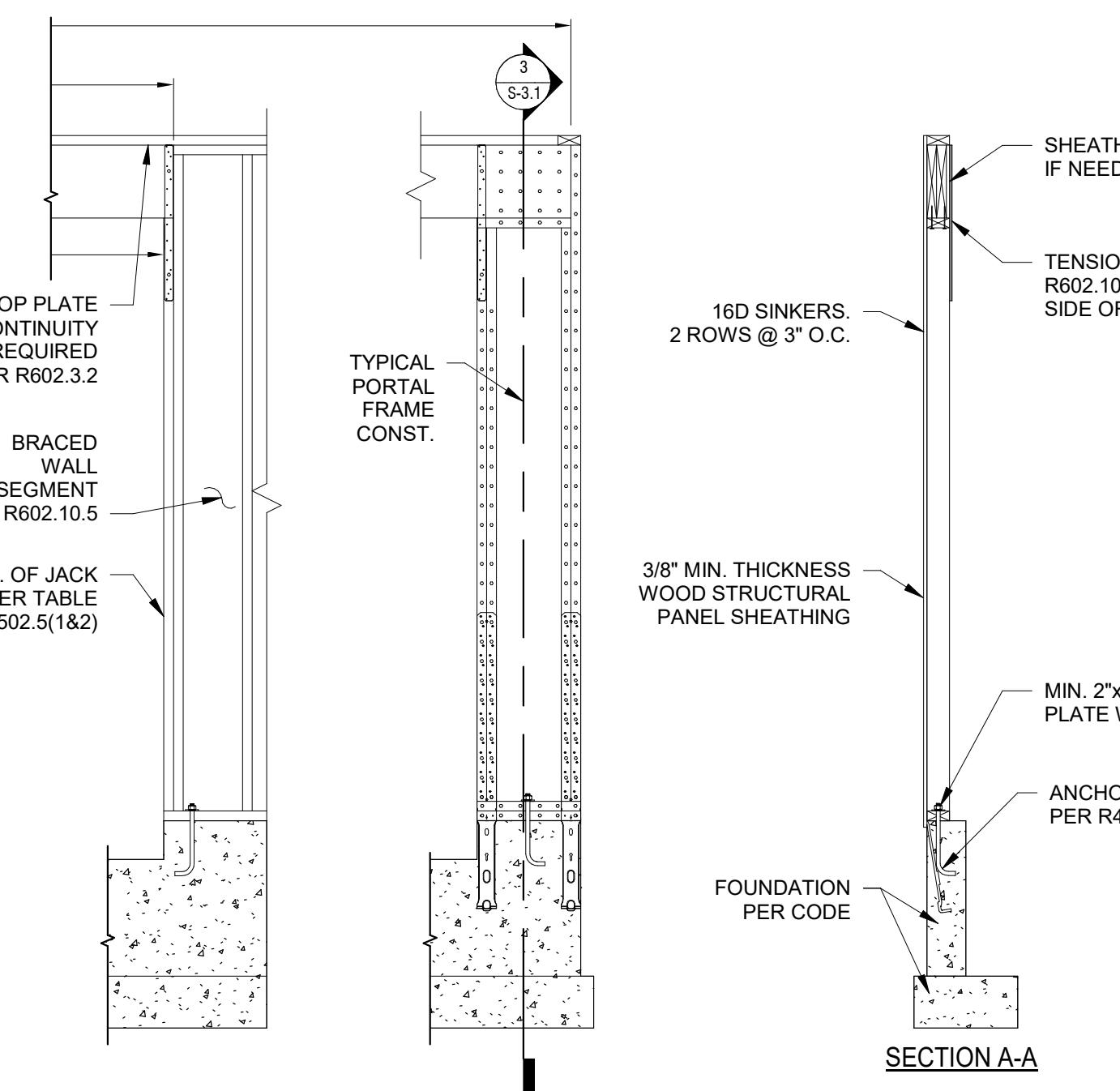
1 PORTAL FRAME WITH HOLDOWNS

3/4" = 1'-0"



2 PFH PORTAL FRAME DETAIL

1/2" = 1'-0"



BRACED WALL PANEL CALCULATIONS

BRACED WALL LINE	BRACING METHOD/S	BRACED WALL LINE SPACING	EXPOSURE HT FACTOR	EAVE TO RIDGE HT FACTOR	WIND WALL HT FACTOR	NUMBER OF BWL FACTOR	HOLDOWN FACTOR	BLOCKED JOINT FACTOR	GYP ON INSIDE FACTOR	WIND GB CONST. FACTOR	BRACING LENGTH REQD (FT)
A-1	WSP	15.76	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	4.85
B-1	WSP/GB	23.23	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	8.08
C-1	WSP	18.74	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	5.61
D-1	WSP	16.78	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	5.63
E-1	WSP	20.76	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	6.12
1-1	WSP	16.19	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	5.47
2-1	WSP	24.05	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	16.66
3-1	WSP	20.63	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	6.09
4-1	WSP	6.52	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	3.39
5-1	WSP	12.59	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	4.05
6-1	PFH	41.2	1.0	1.06	1.0	1.6	1.0	1.0	1.0	1.0	13.6

NOTES:

1. GB BRACED PANELS TO BE DOUBLE SIDED U.N.O.
2. ALL HORIZONTAL JOINTS ARE TO BE BLOCKED
3. HOLD DOWN DEVICES INDICATED ON PLANS
4. GYPSUM WALL BOARDS TO BE USED ON THE INSIDE OF WSP PANELS, TYP. U.N.O.
5. ALL WALL BRACING METHODS SHALL CONFORM TO THE 2018 IRC REQUIREMENTS OF SECTIONS R602.10.3, R602.11 & R602.12 AS REQD

OSB SHEAR WALL SCHEDULE

MARK	SHEATHING	SIDES OF WALL	SHEET NAILING # / # EDGES / FIELD	SHEET STAPLING # / # EDGES / FIELD	BLOCKING	NAILING
◇	7/16" APA RATED	1	8d @ 6 / 12	OR 16ga x 1 1/2" @ 3 / 12	YES	(2) 16d NAILS PER 16' BAY
◇	7/16" APA RATED	1	8d @ 4 / 12	OR 16ga x 1 1/2" @ 2 / 12	YES	(3) 16d NAILS PER 16' BAY
◇	7/16" APA RATED	1	8d @ 3 / 12	APA TESTED PORTAL FRAME ASSEMBLY, SEE DETAIL	YES	(5) SDS SCREWS PER 16' BAY

GYP. SHEAR WALL SCHEDULE

◇	1/2" GYP. BOARD	1	Sd COOLER @ 4/4		YES	(2) 16d NAILS PER 16' BAY
1. ALL SHEATHING PANEL EDGES SHALL BE BLOCKED UNO. 2. PROVIDE SAME NAILING PATTERN ABOVE AND BELOW OPENINGS AS ADJACENT SHEAR PANEL. 3. ALL EXTERIOR WALLS SHALL BE SHEARWALL "W1" WITHOUT BLOCKING UNO. 4. FASTEN GABLE/RIM TO SHEAR WALLS BELOW W/ 10d TOENAILS @ 12" O.C. UNO. 5. FASTEN TRUSS HEELS TO SHEAR WALLS W/ H2.5A AND (2) 10d TOENAILS AT EACH. 6. STUD FRAMING TO BE 16" O.C., MAX. U.N.O.						

HOLDOWN SCHEDULE

MARK	STRAP TYPE	STRAP # OF STUDS	ANCHOR BOLT # OF STUDS	FASTENERS # OF STUDS
HD2	STHD10 OR STHD10R W/ RIM	(24) 16d SINKERS	HDU4-SDS2.5 W/ SB 5/8x24 OR PAB5 @ INT. PONY WALLS	2 (6) 1/4" X 2-1/2" SDS
HD3	STHD14 OR STHD14R W/ RIM	(30) 16d SINKERS	HDU5-SDS2.5 W/ SB 5/8x24 OR PAB5 @ INT. PONY WALLS	2 (14) 1/4" X 2-1/2" SDS

BRACING WALL SCHEDULE

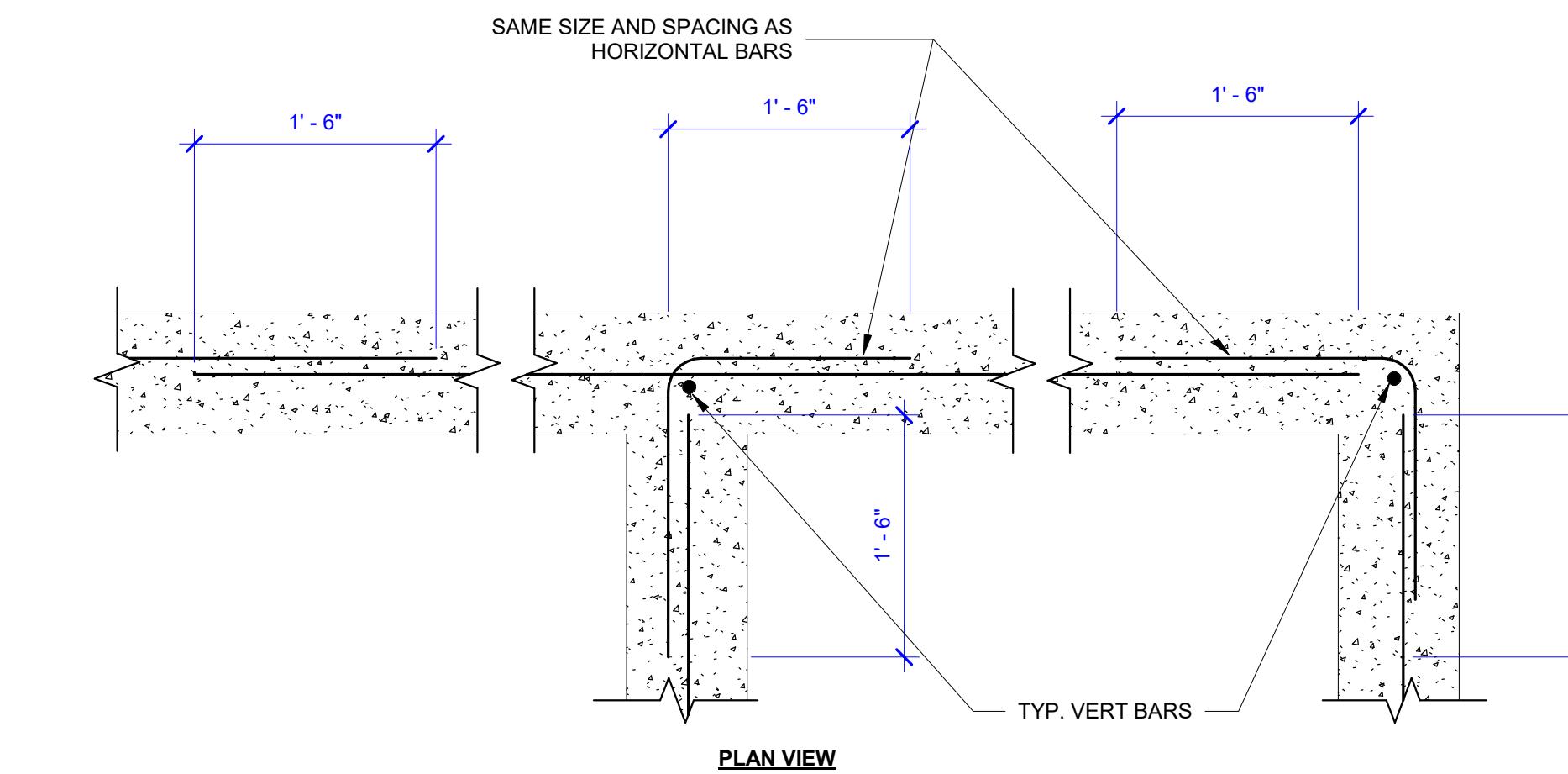
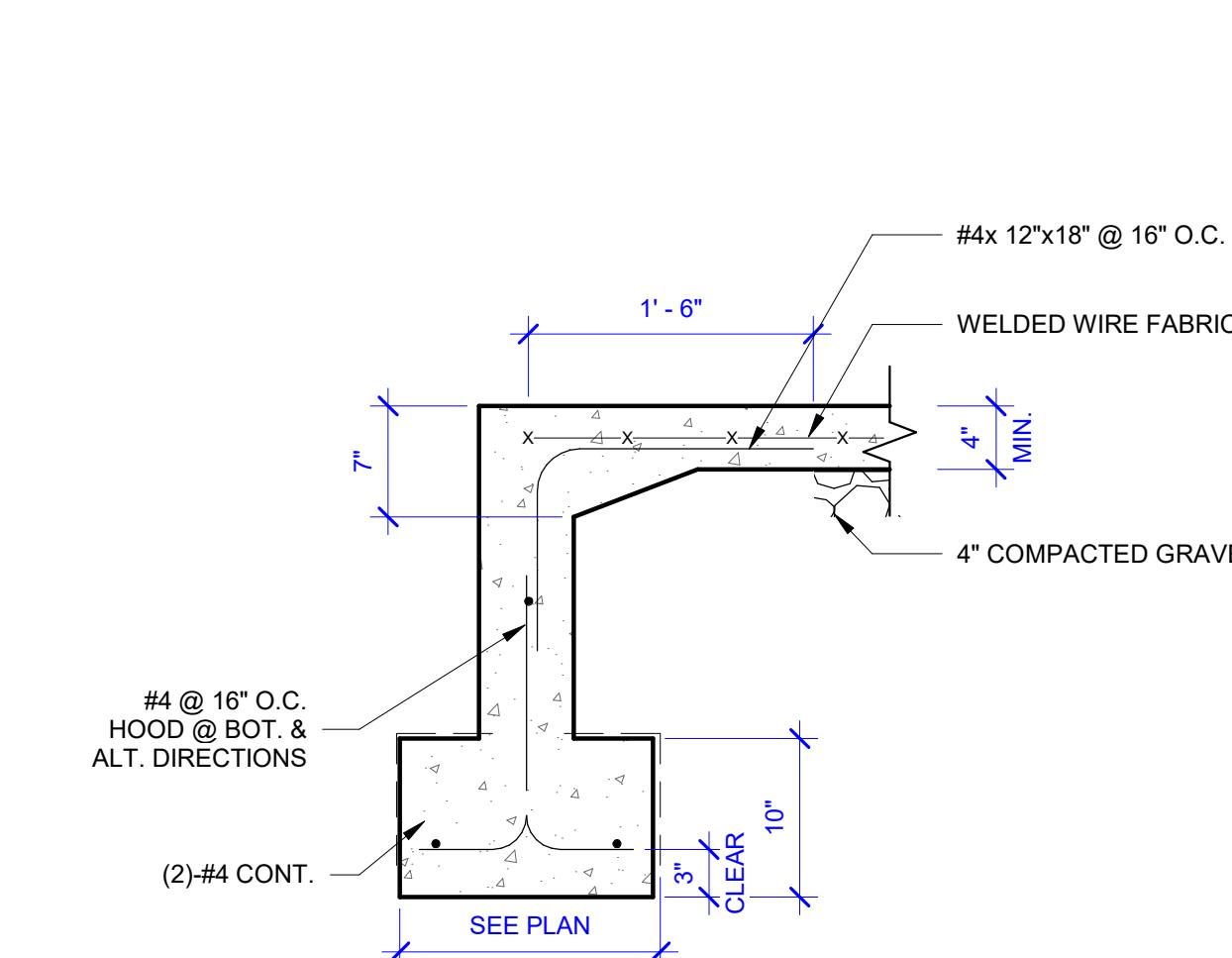
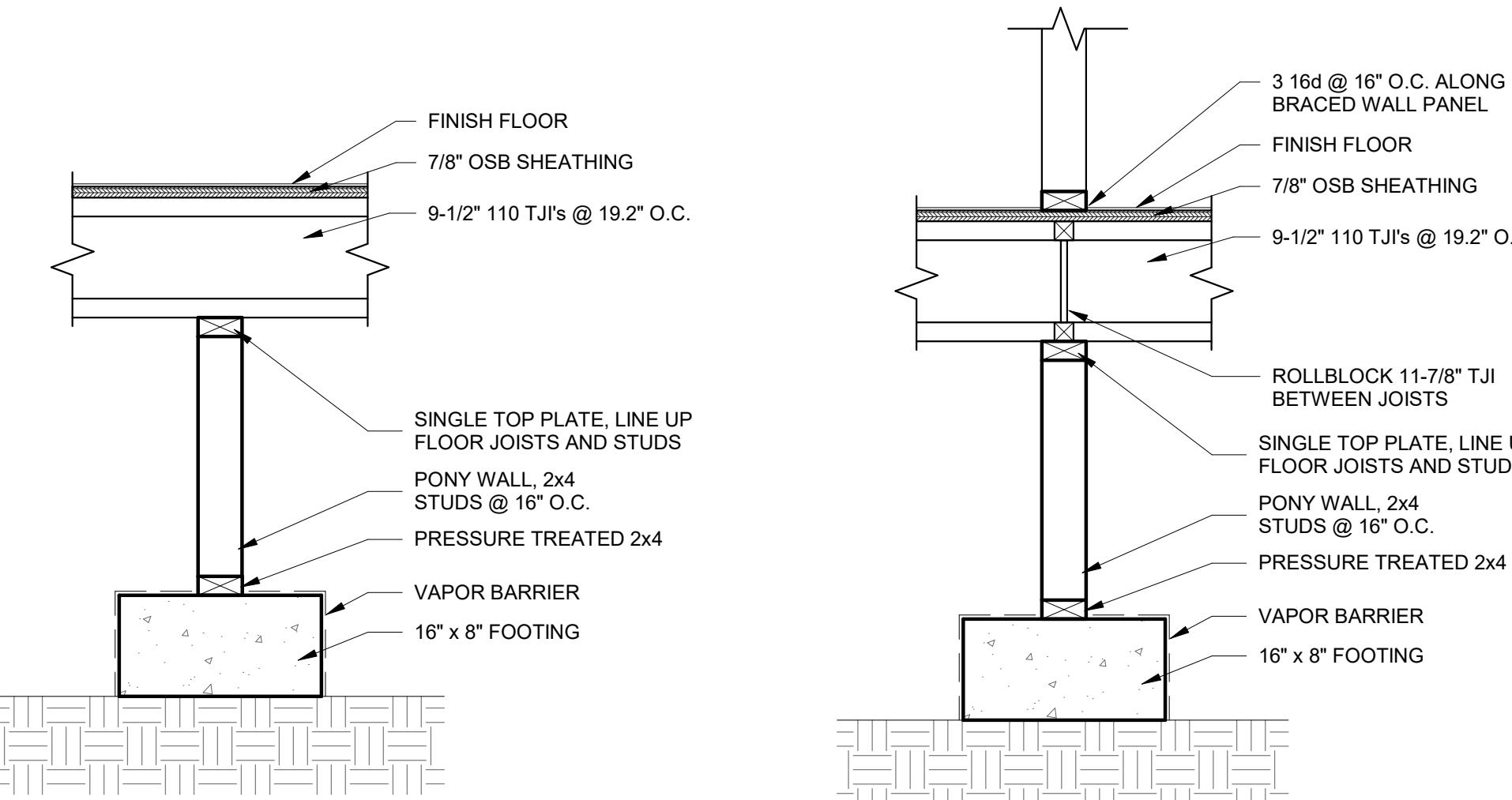
WSP	WOOD STRUCTURAL PANEL BRACING METHOD: 7/16" SHEATHING WITH 6d COMMON NAILS AT 6" SPACING ON PANEL EDGES AND 12" SPACING AT INTERMEDIATE SUPPORTS. DOUBLE THE SPACING REQUIREMENTS IF USING 16 GA. x 1-3/4" STAPLES.
CS-WSP	CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL BRACING METHOD: 7/16" SHEATHING WITH 6d COMMON NAILS AT 6" SPACING ON PANEL EDGES AND 12" SPACING AT INTERMEDIATE SUPPORTS. DOUBLE THE SPACING REQUIREMENTS IF USING 16 GA. x 1-3/4" STAPLES.
PFH	PORTAL FRAME WITH HOLD-DOWNS: 7/16" SHEATHING WITH 8d COMMON NAILS AT 3" O.C. SPACING W/ (2) STHD14's PER DETAIL. BRACED WALL LENGTH SHALL BE A MIN. 16' FOR SINGLE STORY OR 24' FOR STORY ABOVE, WITH A MAX. HEIGHT OF 10'-0". SEE DETAIL ON S-2.1 FOR CONSTRUCTION SPECIFICATIONS.
GB-1 GB-2	GYPSUM BOARD BRACING METHOD: 1/2" GYPSUM WALL BOARD APPLIED TO BOTH SIDES OF WALL. NAIL OR SCREW AT 4" SPACING AT PANEL EDGES INCLUDING TOP AND BOTTOM PLATES. USE 1-1/2" GALVANIZED ROOFING NAIL, STAPLE GALVANIZED, 1-1/4" SCREWS, TYPE 'W' OR 'S'. WHEN GYPSUM BOARD IS APPLIED TO ONLY ONE SIDE OF THE WALL, THE REQUIRED BRACING SHALL BE DOUBLED. (ONE SIDE MARKED AS GB-1, DOUBLE SIDED MARKED AS GB-2)
ABW	ALTERNATE BRACED WALL PANEL BRACING METHOD: 7/16" w/ 8d COMMON NAILS @ 6" O.C. @ PANEL EDGES AND 12" SPACING AT INTERMEDIATE SUPPORTS. PROVIDE MINIMUM 180# HOLD DOWN @ EACH END OF PANEL. SEE DETAIL ON S-2.1 FOR CONSTRUCTION SPECIFICATIONS.

BRACING PLAN LEGEND:

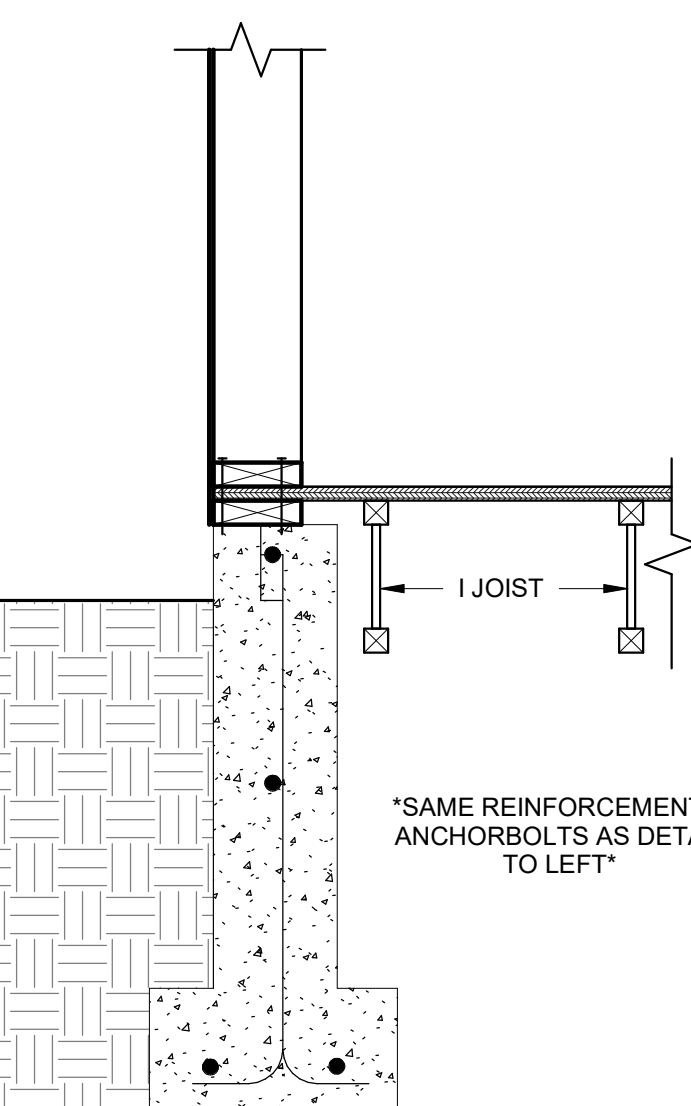
WALL GRID LINES: REFER TO BRACED WALL CALCULATION SCHEDULE SHOWING REQUIRED LINEAR BRACING.

PROFESSIONAL ENGINEER
LICENCED
7068
STATE OF IDAHO
TIMOTHY L. PHILLIPS

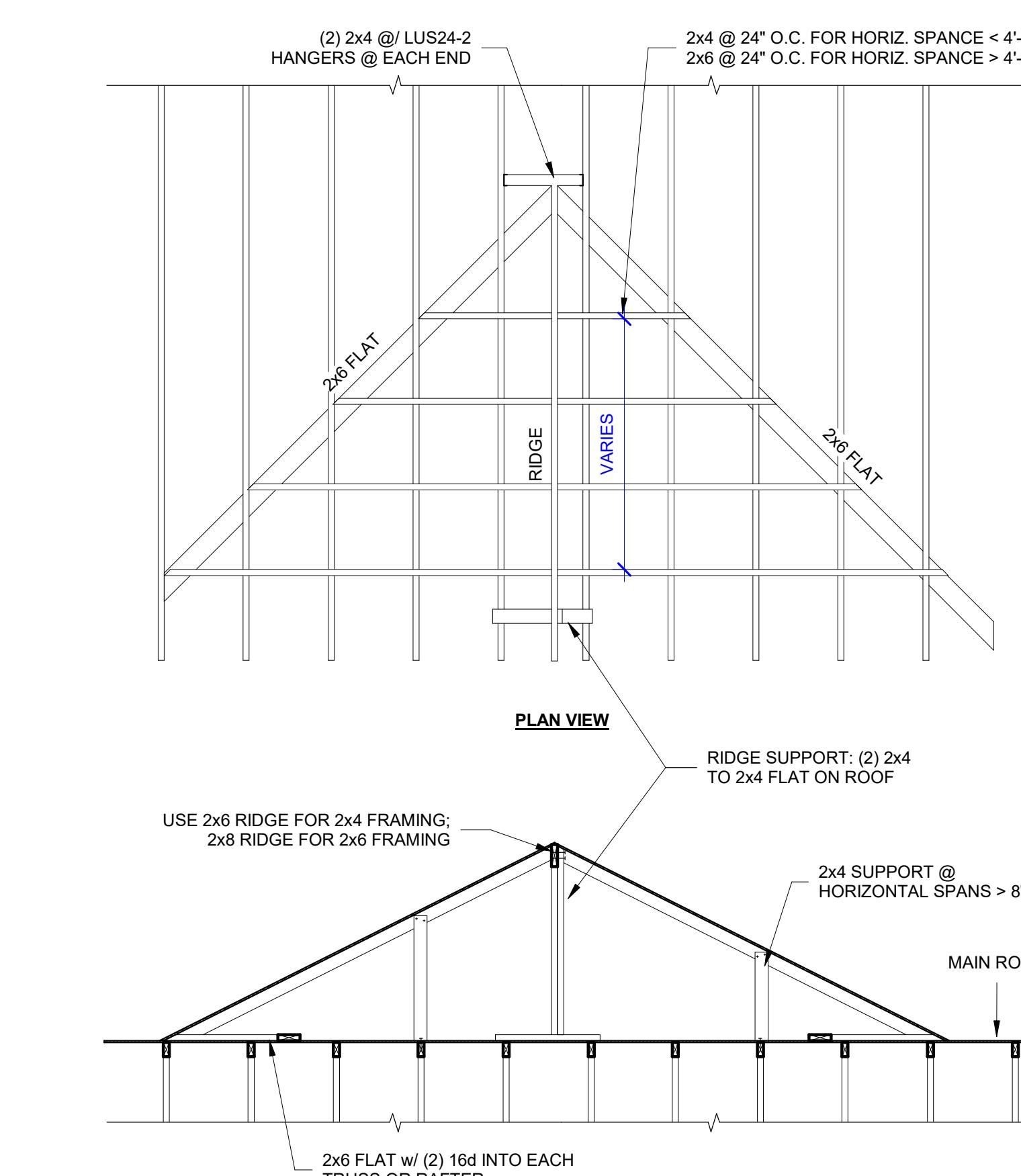
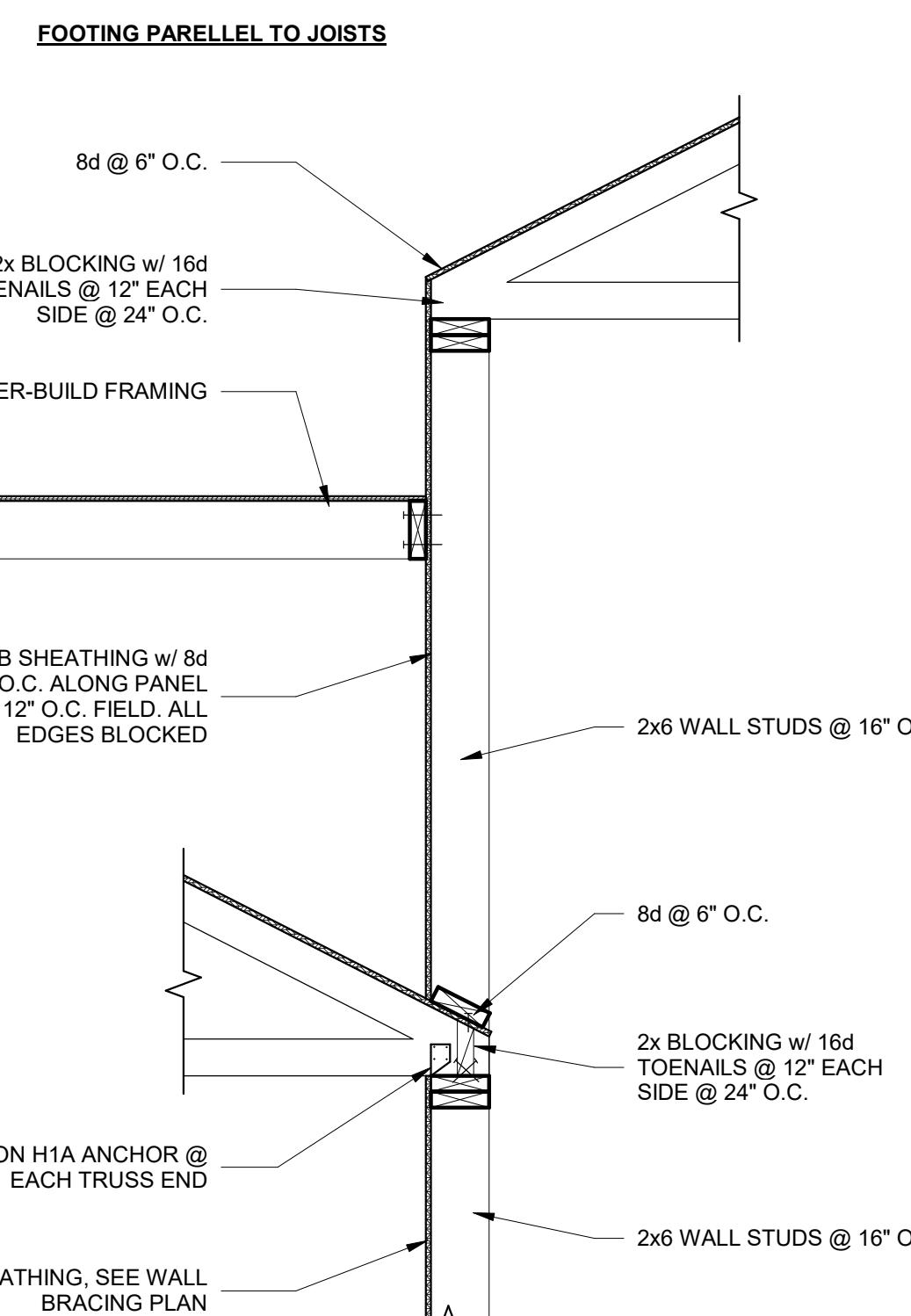
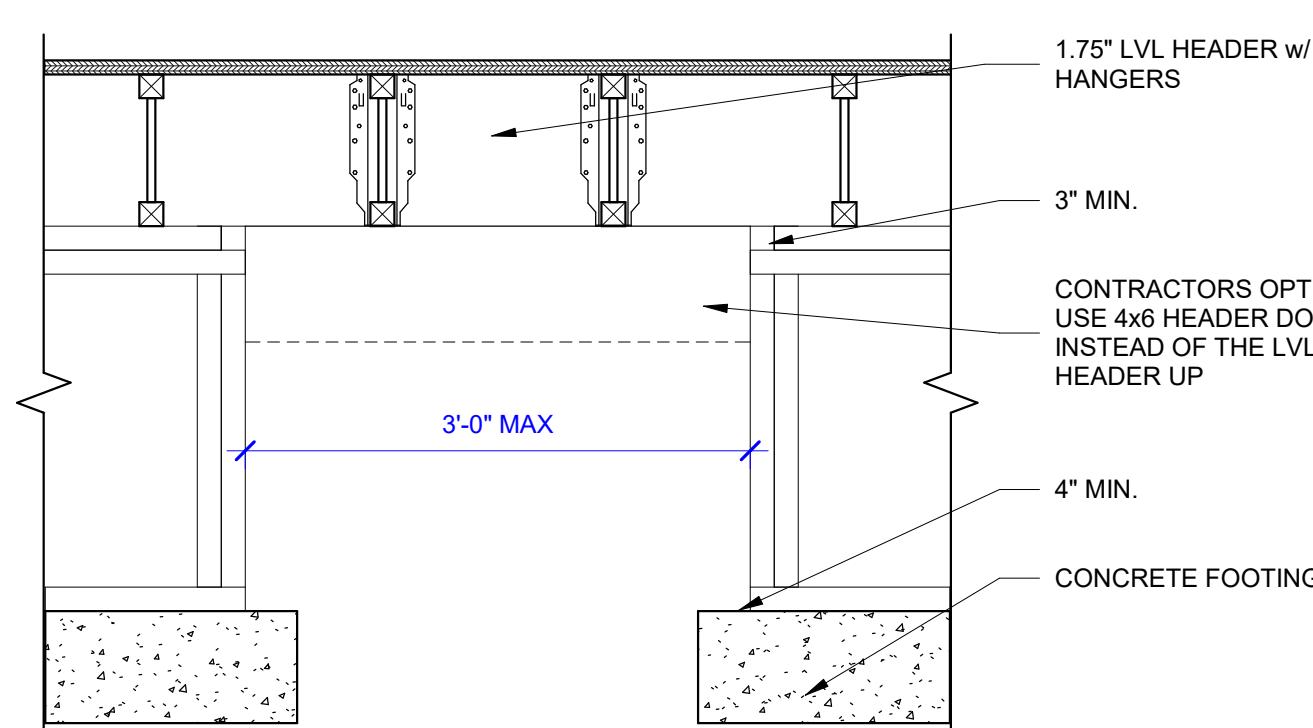
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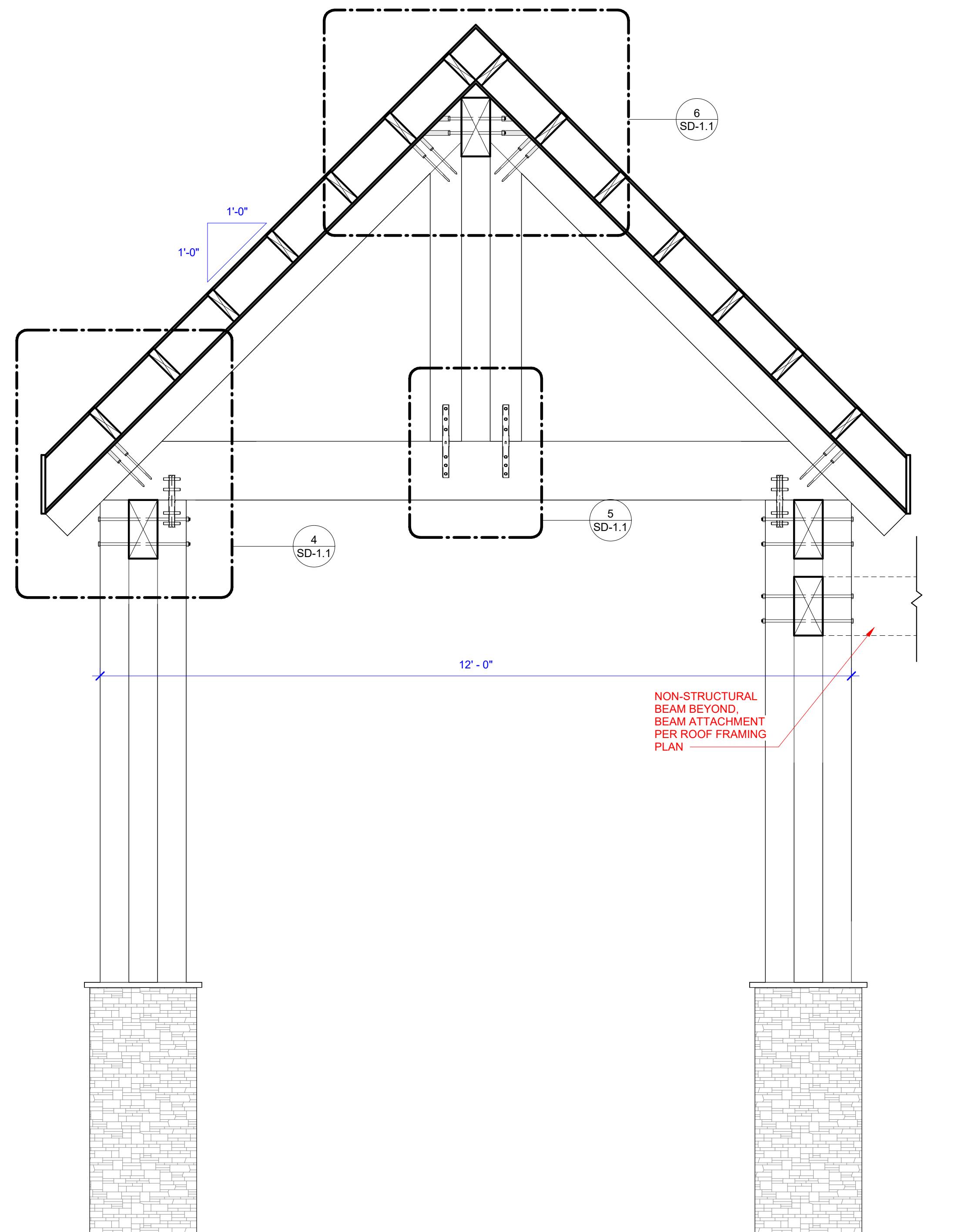
3 TYPICAL SLAB DETAIL @ DOOR OPENING
1" = 1'-0"



5 TYPICAL EXTERIOR FOOTINGS
1" = 1'-0"

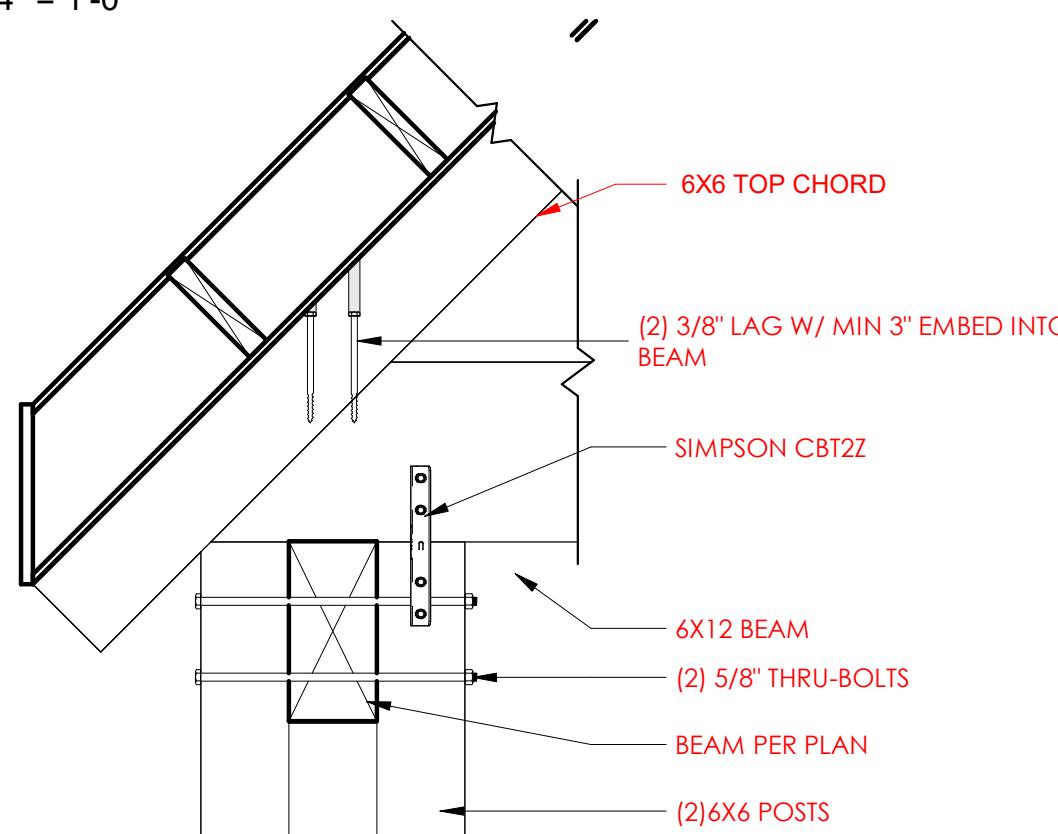


8 TYPICAL OVERBUILD FRAMING
3/8" = 1'-0"

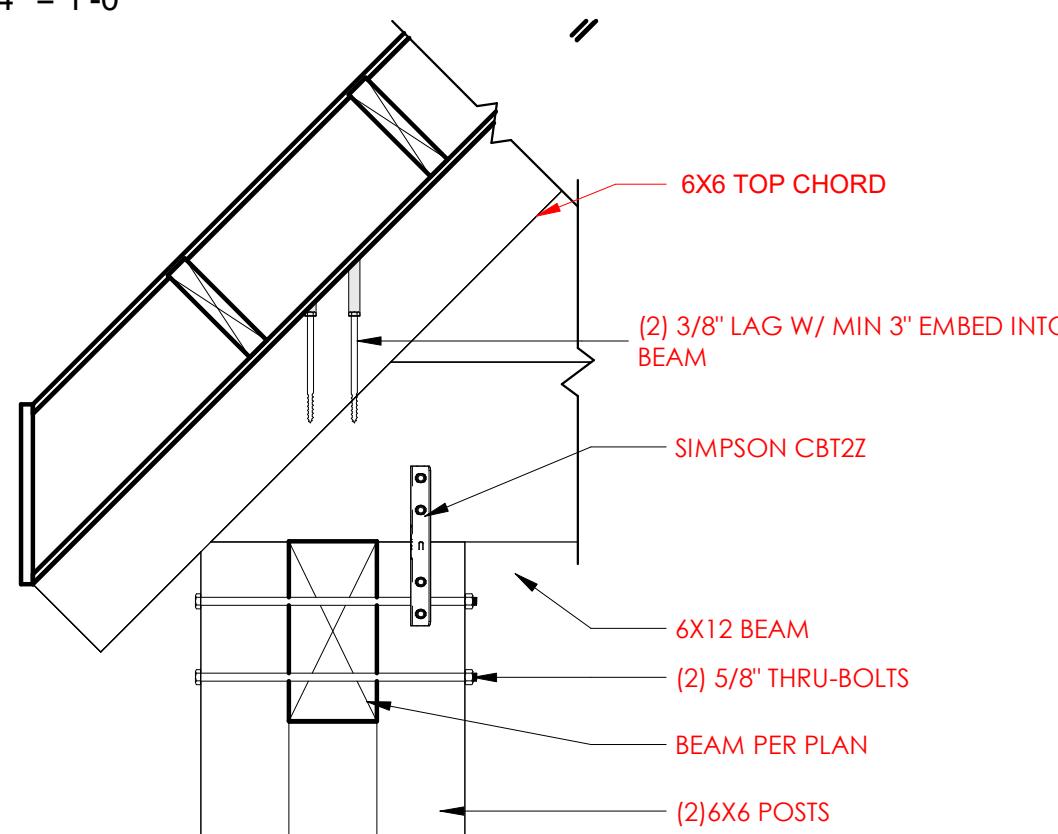


A TRUSS SECTION
3/4" = 1'-0"

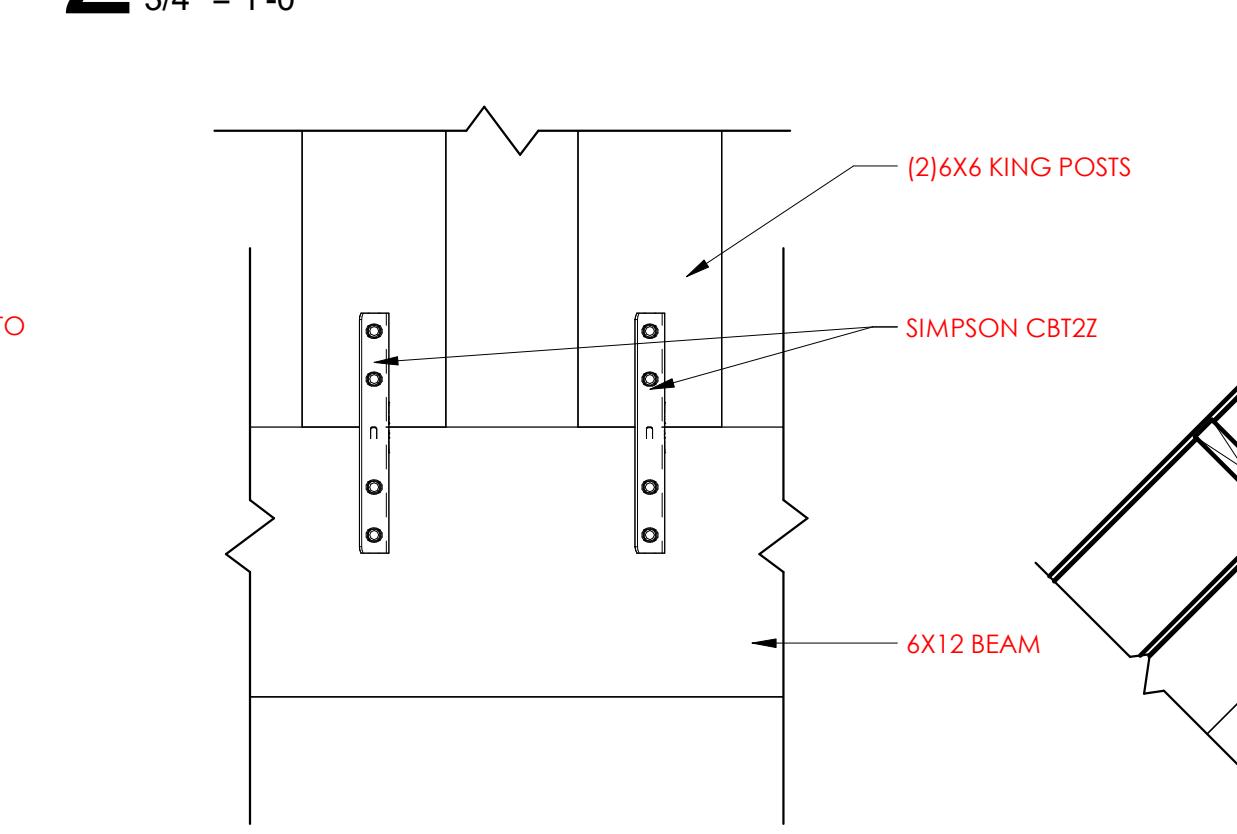
1 TWO POST PLAN VIEW
3/4" = 1'-0"



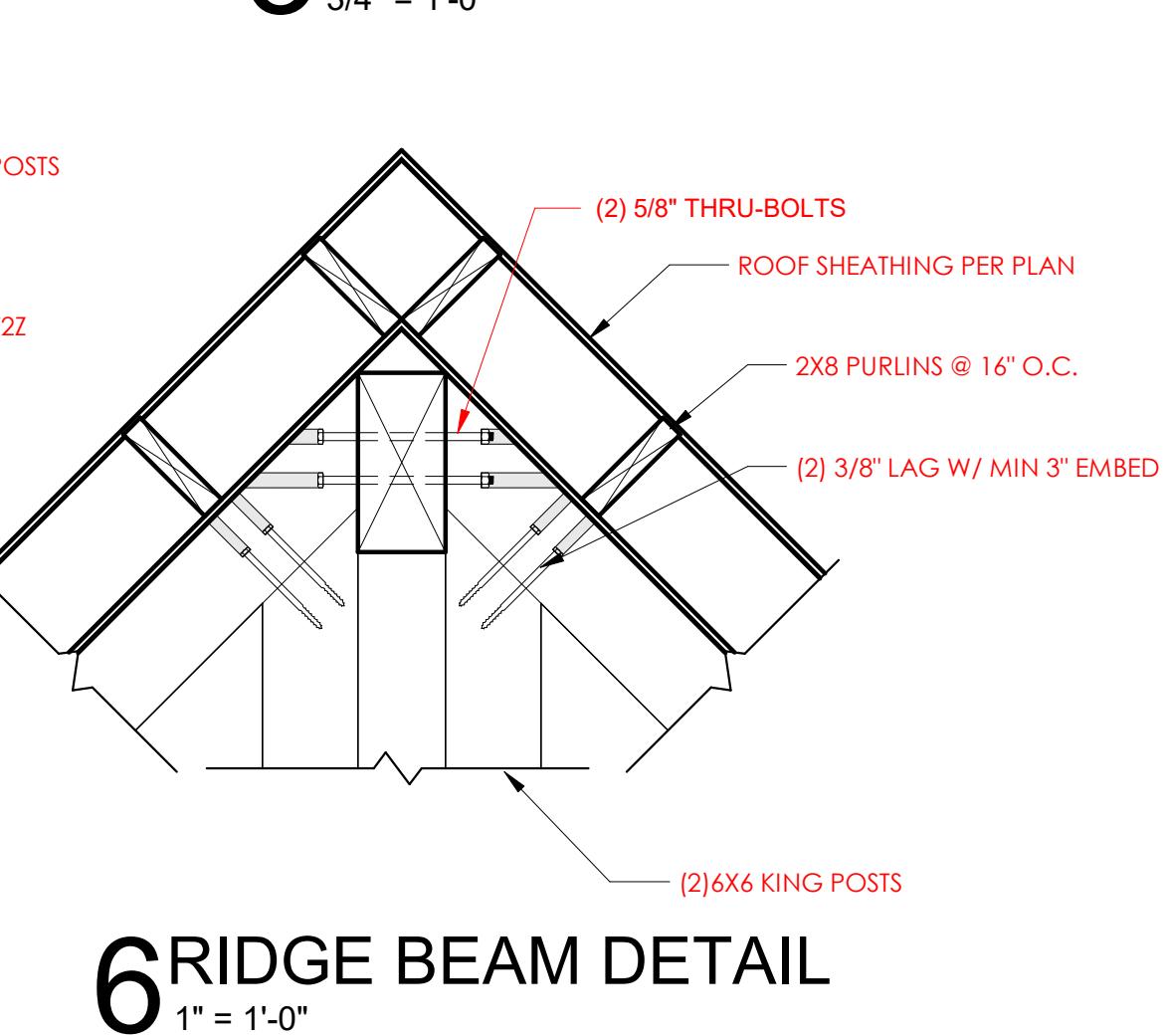
4 TRUSS DETAIL @ COLUMN
1" = 1'-0"



2 TWO COLUMN PEDESTAL DETAIL
3/4" = 1'-0"



3 MAIN FLOOR F.F.
3/4" = 1'-0"



5 KING POST DETAIL
1 1/2" = 1'-0"



6 RIDGE BEAM DETAIL
1" = 1'-0"

ALL DRAWINGS TO BE REVIEWED
BY CONTRACTOR PRIOR TO
CONSTRUCTION. NOTIFY
DESIGNER OF ANY ERRORS,
OMISSIONS, AND/OR CHANGES IN
THE PLAN PRIOR TO
CONSTRUCTION OR FABRICATION.

DATE DRAWN/REVISIONS:

1
2
3
4

SHEET TITLE:

**TIMBER
TRUSS
DETAILS**

SHEET NO:

SD-1.1
ORIGINAL SHEET SIZE
24" x 36"



1 MAIN FLOOR - ELECTRICAL PLAN
1/4" = 1'-0"

ELECTRICAL NOTES

1. CONTRACTOR SHALL MEET ALL THE REQUIREMENTS OF THE 2017 NATIONAL ELECTRICAL CODE, THE 2018 INTERNATIONAL RESIDENTIAL CODE AND THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.
2. CONTRACTOR SHALL COORDINATE ELECTRICAL WORK WITH LOCAL POWER COMPANY.
3. ALL OUTLETS ARE TO BE MEASURED TO TOP OF RECEPTACLE. ALL STANDARD OUTLETS ARE TO BE 16" A.F.F. UNLESS NOTED OTHERWISE.
4. PROVIDE OUTLETS @ OVERHANGS WITH SEPARATE SWITCH FOR X-MAS LIGHTS

ELECTRICAL LEGEND

SYMBOL	DESCRIPTION
∅	110 V OUTLET
REF	REFRIGERATOR OUTLET
DW	DISH WASHER OUTLET
GFI	G.F.I. OUTLET
WP	WATER PROOF OUTLET
FLR	FLOOR OUTLET
●	SPECIAL OUTLET
\$LANG	SWITCH
\$LANG	SWITCH - THREE WAY
○	LIGHT FIXTURE
□	RECESSED CAN LIGHT FIXTURE
□	EXHAUST FAN
SD	SMOKE DETECTOR
SD/CO	SMOKE DETECTOR / CARBON MONOXIDE
TV	TELEVISION (CABLE OUTLET)
	GARAGE LIGHT FIXTURE
×	CEILING FAN

SMOKE ALARM NOTES

1. SMOKE & CARBON MONOXIDE ALARMS SHALL COMPLY WITH 2018 IRC SEC. R314 & R315
2. A SMOKE ALARM SHALL BE INSTALLED IN EACH SLEEPING ROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREA PER R314.3
3. CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. PER R315.3
4. A SMOKE ALARM SHALL BE INSTALLED ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND CELLARS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN HE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL. PER R314.3
5. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER-CURRENT PROTECTIONS. PER R314.6
6. SMOKE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE OTHER ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. PER R314.4

PROJECT NAME:
SWAGGART - TIMBERSTONE LOT 9 BLOCK 2
ADDRESS:
22625 AURA VISTA WAY
CALDWELL, ID 83607

DESIGN BY
SLATE
P: 208.972.0551
E: J@BYSLATE.COM
WWW.BYSLATE.COM

PERMIT SET

08/27/2025

ALL DRAWINGS TO BE REVIEWED BY CONTRACTOR PRIOR TO CONSTRUCTION. NOTIFY DESIGNER OF ANY ERRORS, OMISSIONS, AND/OR CHANGES IN THE PLAN PRIOR TO CONSTRUCTION OR FABRICATION.

DATE DRAWN/REVISIONS:
1
2
3
4

SHEET TITLE:
MAIN FLOOR ELECTRICAL PLAN

SHEET NO:

E-1.1
ORIGINAL SHEET SIZE
24" x 36"