

GENERAL NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

ALL SETBACKS AND EASEMENTS TO BE VERIFIED BY THE BUILDING INSPECTOR PRIOR TO POURING CONCRETE.

REPORT ANY ERROR OR OMISSIONS TO BUILDING CONTRACTOR PRIOR TO REQUESTING FINAL INSPECTION.

ALL PUBLIC UTILITIES ARE AVAILABLE

CONTRACTOR SHALL INSTALL HOUSE NUMBERS IN ACCORDANCE WITH LOCAL CODE AND IRC PRIOR TO REQUESTING FINAL INSPECTIONS.

SLOPE GRADE AWAY FROM HOUSE TO BE MIN 5% FOR 10’ IN EACH DIRECTION AND 2% THEREAFTER WHERE POSSIBLE

DESIGN CRITERIA:

CODES: IRC 2018, IECC 2018, IMC 2012, ISPC 2009, NEC 2017

FROST DEPTH: 24”

SEISMIC ZONE: C

CLIMATE ZONE: 5

BASIC WIND SPEED: 115 MPH

SOIL BEARING CAPACITY: 1500 PSF

ROOF LOADS: 25 PSF LIVE LOAD (SNOW) 17 PSF DEAD LOAD

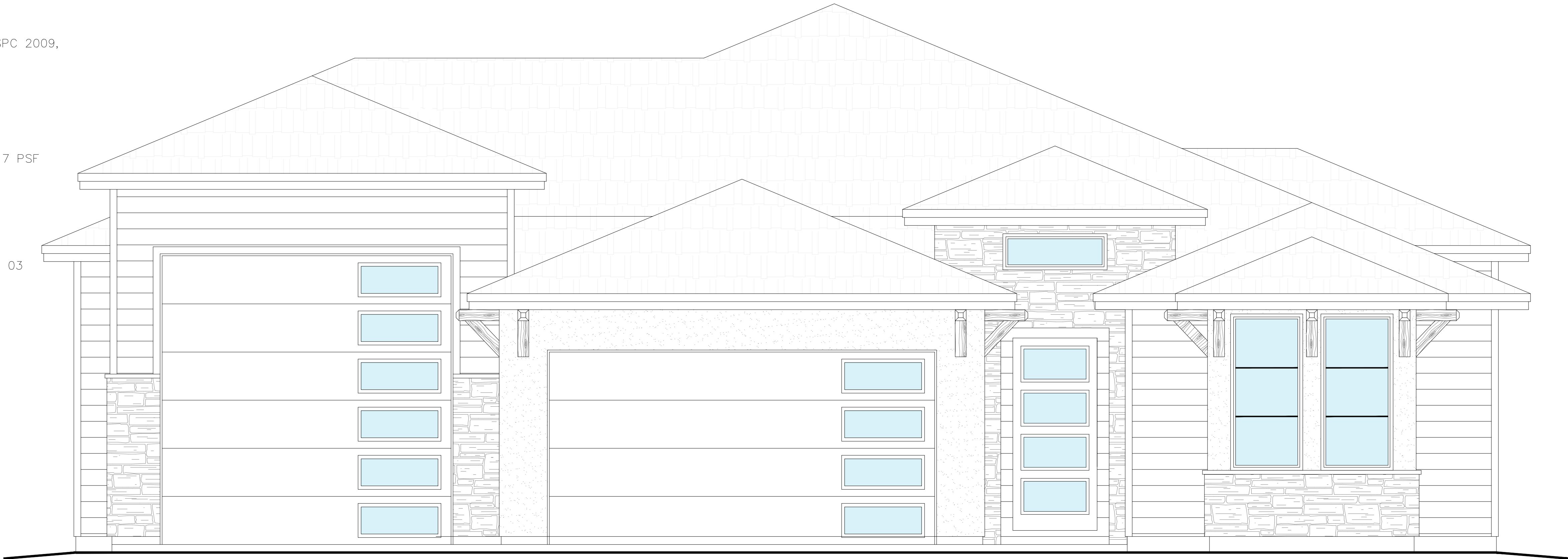
FLOOR LOADS: 40 PSF LIVE, 17 PSF DEAD

LEGAL DESCRIPTION:

TBD N. GRACIE AVE. EAGLE, IDAHO

CENTERRA ESTATES SUB #1 LOT 12 BLOCK 03

EAGLE, ADA COUNTY, IDAHO



DRAWING INDEX

A0.0	–	COVER SHEET
A0.1	–	SITE PLAN
A1.0	–	MAIN FLOOR PLAN
A1.1	–	MAIN FLOOR WALL BRACING
A1.2	–	SHEAR DETAILS
A2.0	–	FRONT AND REAR ELEVATIONS
A2.1	–	SIDE ELEVATIONS
E1.0	–	MAIN ELECTRICAL PLAN
S1.0	–	FOUNDATION PLAN
S2.0	–	ROOF FRAMING
S3.0	–	ROOF PLAN
SD1.0	–	STRUCTURAL DETAILS



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SWAGGART RESIDENCE

CENTERRA ESTATES #1
TBD N. GRACIE AVE
EAGLE, IDAHO

REVISION SCHEDULE

#	DESCRIPTION	DATE
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MAIN FLOOR AREA: 2,638 SF	
SECOND FLOOR AREA: 0 SF	
UNFINISHED AREA: 0 SF	
TOTAL CONDITIONED AREA:	2,638 SF
PORCH / PATIO AREA: 335 SF	
GARAGE AREA: 1,266 SF	
TOTAL AREA:	4,239 SF

BASE MODEL:	SWAGGART 2638 MODEL
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CENTERRA ESTATES
LOT 12 BLOCK 03

COVER SHEET

A0.0



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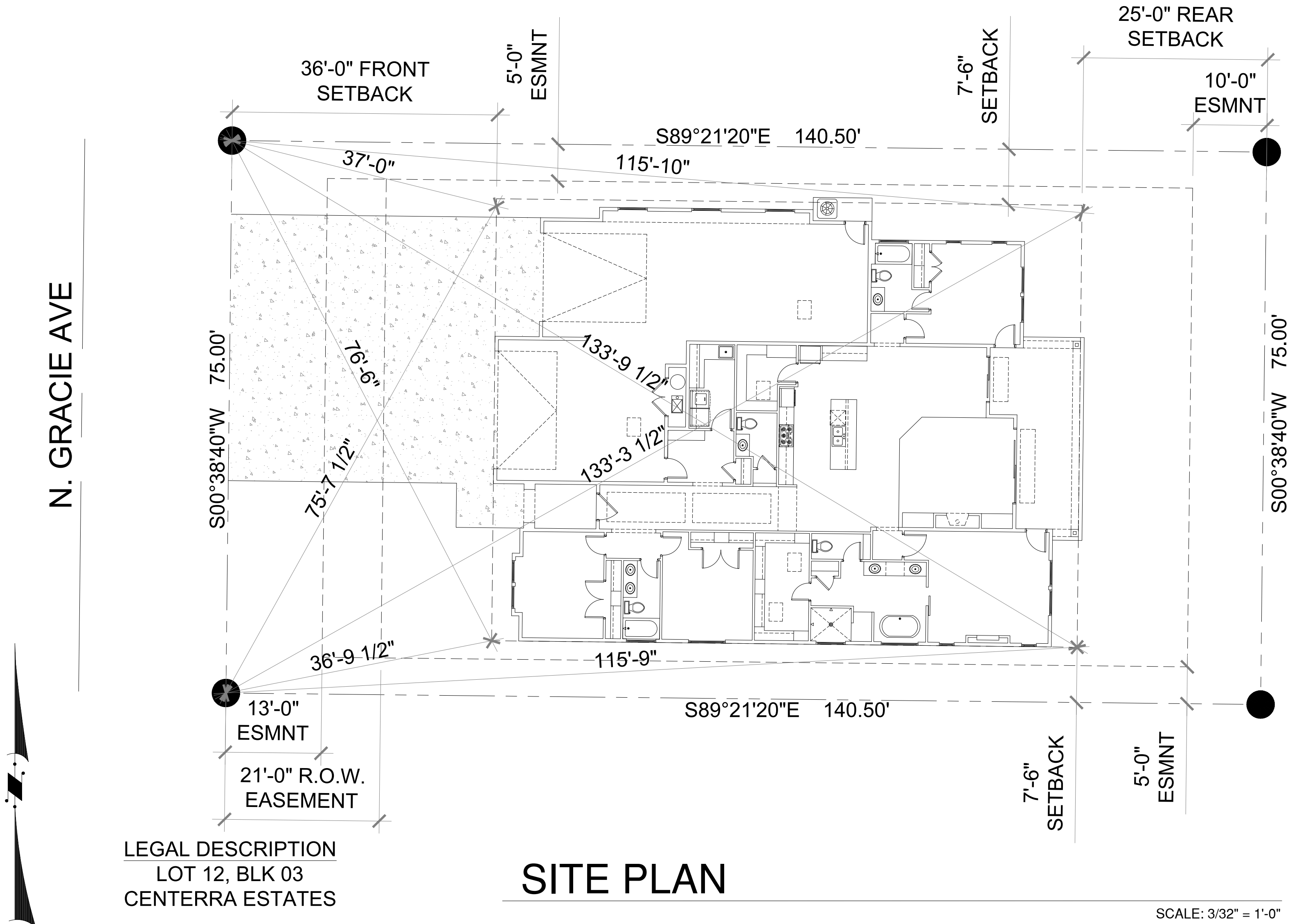
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CENTERRA ESTATES
LOT 12 BLOCK 03

SITE PLAN

A0.1



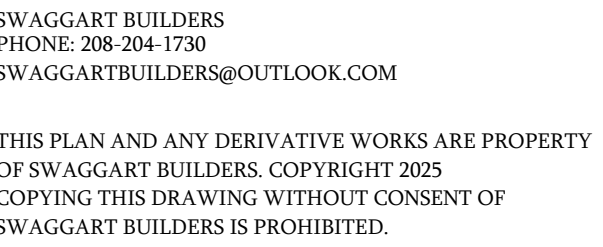
COVERED ROOF AREAS		
MAIN LEVEL	2,638	SQ FT
UPPER LEVEL	0	SQ FT
TOTAL LIVING AREA	2,638	SQ FT
COVERED PORCH/PATIO	335	SQ FT
GARAGE	1266	SQ FT
BUILDING TOTAL	4,239	SQ FT
LOT AREA	10,538	SQ FT
LOT COVERAGE %	40%	

DATE 1/16/2025 PLAN 2638

CENTERRA SUB # 1 - LOT 12 BLOCK 03

EAGLE ADA IDAHO 83616

CONTRACTOR NOTE:
RAIN GUTTERS ARE TO BE TIED INTO
DRAINAGE SYSTEM SO THAT RUNOFF
CAN BE DISPERSED INTO THE FRONT
OF THE LOT PER ACC REQUIRMENTS

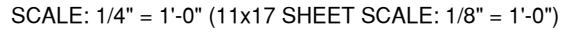


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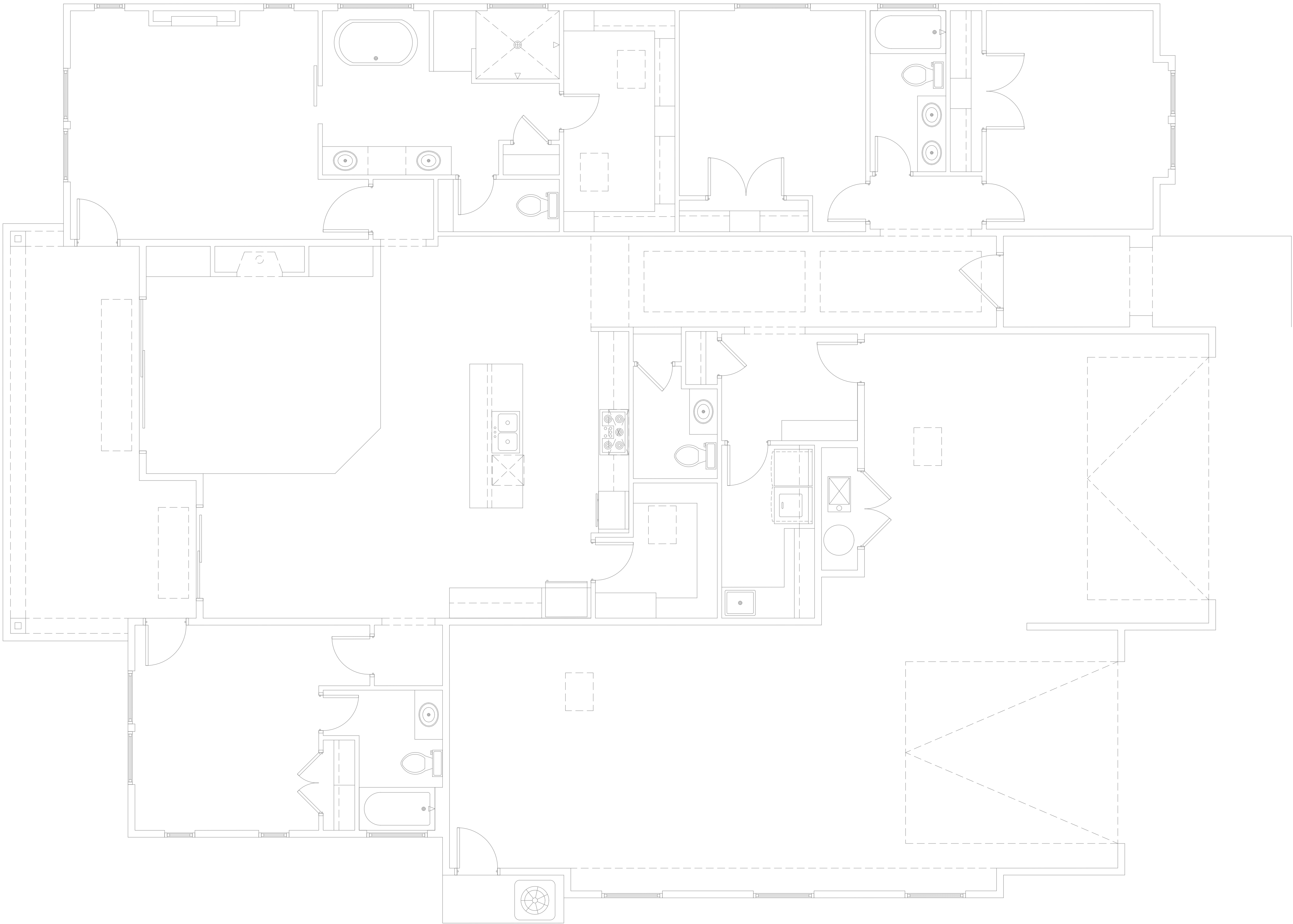


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WALL BRACING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

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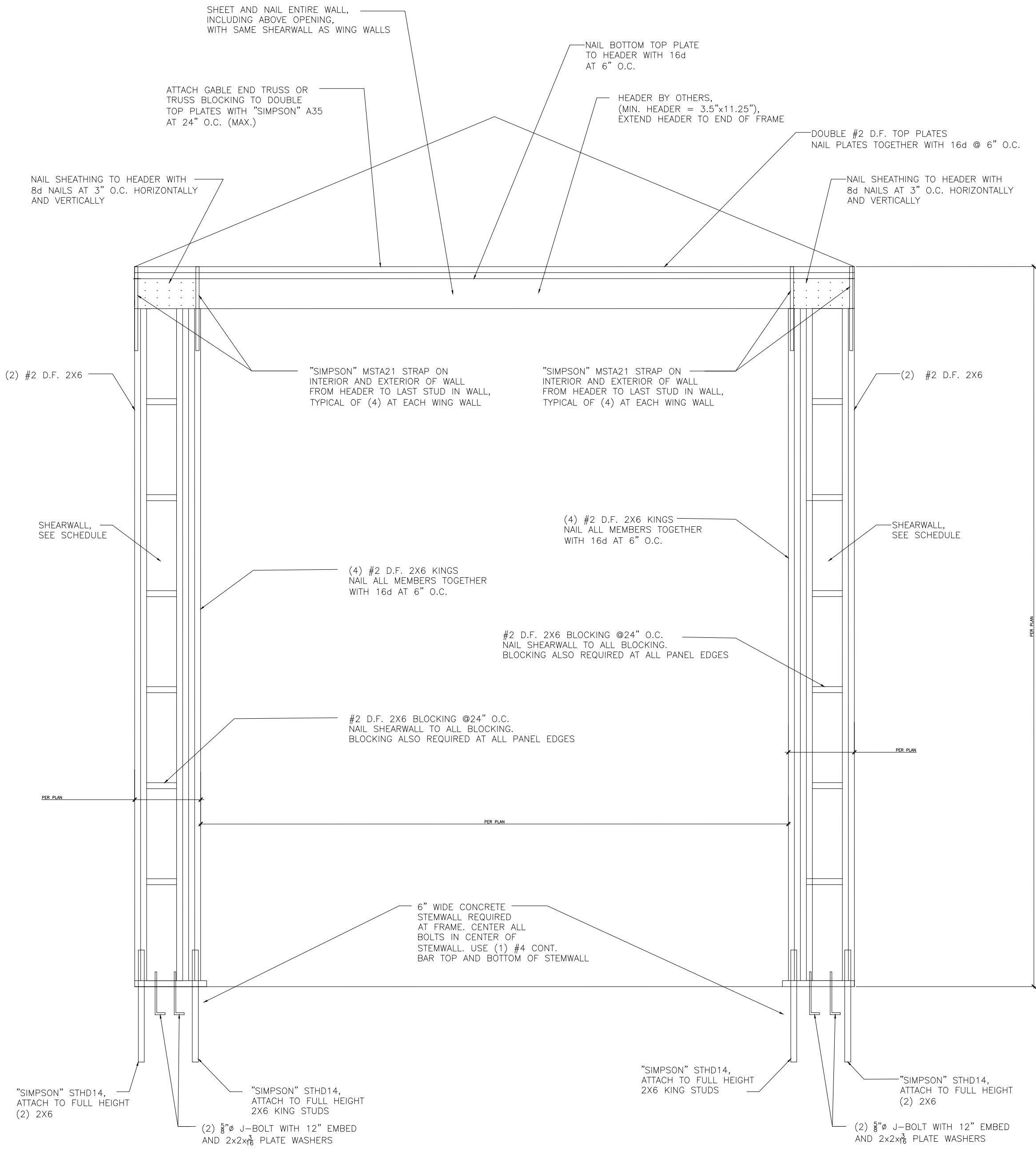
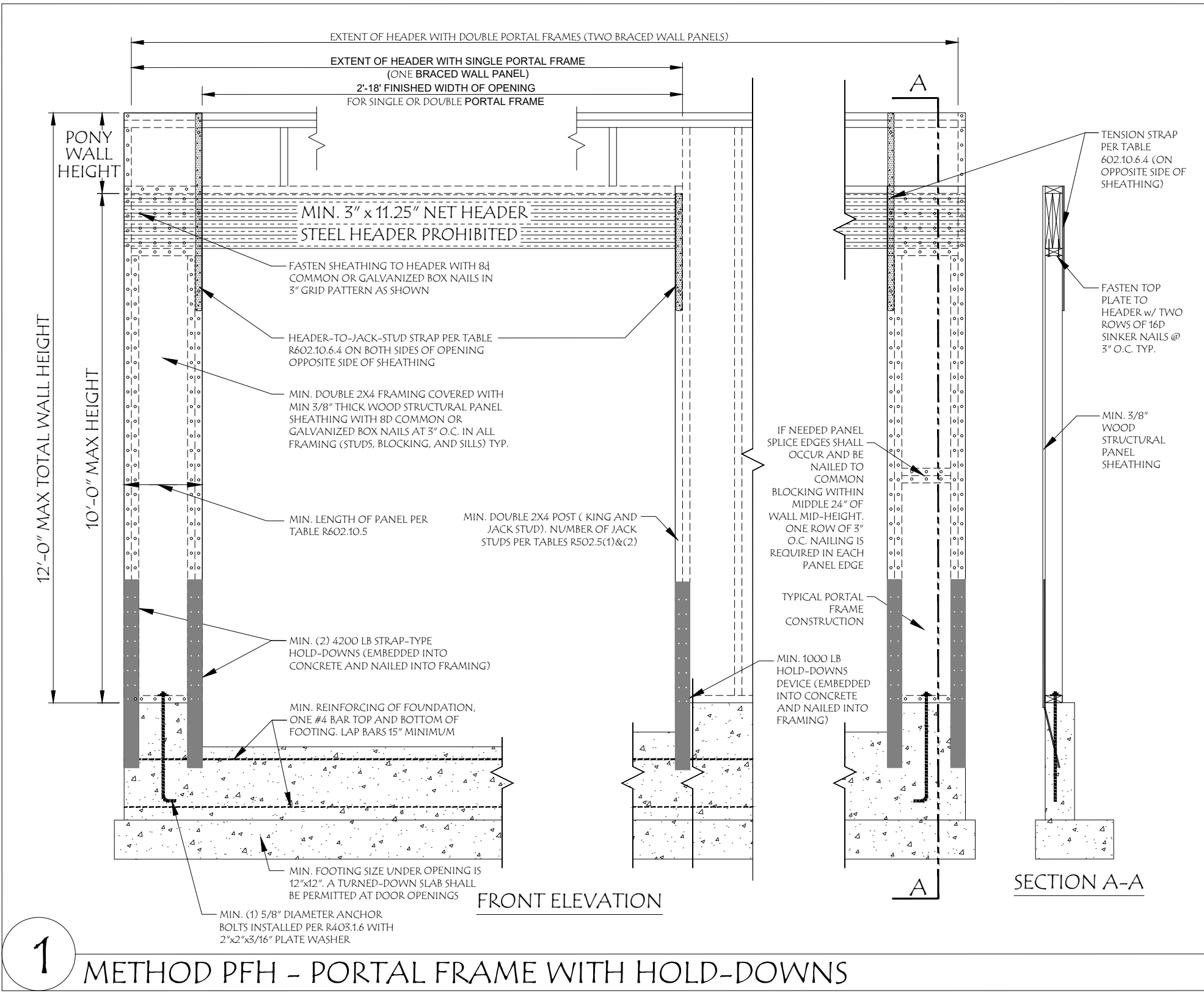
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CENTERRA ESTATES
LOT 12 BLOCK 03

WALL BRACING

A1.1



SHEAR WALL SCHEDULE				
MARK #	SHEATHING	NAILING	END MEMBERS	SILL ANCHORS
<u>1</u>	APA 7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 6" O.C. EDGES, 8d @ 12" O.C. FIELD	(1) 2 X	1/2"Ø x 7" EMBED. @ 3'-0" O.C.
<u>2</u>	APA 7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 4" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2 X	1/2"Ø x 7" EMBED. @ 2'-0" O.C.
<u>3</u>	APA 7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 3" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2 X	1/2"Ø x 7" EMBED. @ 1'-8" O.C.
<u>4</u>	1/2" GYP. BOARD (MIN.), ONE SIDE, UNBLOCKED	6d COOLERS @ 7" O.C. EDGES , & 7" O.C. FIELD	(1) 2 X	16d @ 16" O.C. BOTTOM PLATE SHEARWALL THROUGH FLOOR DIA.
<u>5</u>	1/2" GYP. BOARD (MIN.), BOTH SIDES, UNBLOCKED	6d COOLERS @ 7" O.C. EDGES , & 7" O.C. FIELD	(1) 2 X	16d @ 16" O.C. BOTTOM PLATE SHEARWALL THROUGH FLOOR DIA.
<u>6</u>	1/2" GYP. BOARD (MIN.), ONE SIDE, UNBLOCKED	6d COOLERS @ 7" O.C. EDGES , & 7" O.C. FIELD	(1) 2 X	1/2"Ø x 7" EMBED. @ 4'-0" O.C.
<u>7</u>	5/8" GYP. BOARD (MIN.), BOTH SIDES, BLOCKED	6d COOLERS @ 4" O.C. EDGES , & 4" O.C. FIELD	(2) 2 X	1/2"Ø x 7" EMBED. @ 3'-0" O.C.

NOTES: 1) SILL ANCHOR SPACING IS UNDER SHEAR WALLS, SPACE ALL OTHER EXTERIOR SILL ANCHORS @ 4'-0" O.C.

2) IF SHEARWALL REQUIRES HOLDDOWNS, USE WOOD MEMBER FROM HOLDOWN SCHEDULE IN PLACE OF END MEMBERS

3) FULL HEIGHT TRUSS BLOCKING REQUIRED AT ALL SHEARWALLS WITH TRUSS HEEL HEIGHTS OVER 9.25" TALL. NAIL ROOF DIAPHRAGM TO EACH BLOCKING WITH 8d AT 6" O.C., TOE NAIL EACH BLOCKING TO TOP PLATES WITH (4) 16d COMMON NAILS.

4) USE "SIMPSON" H2.5A AT EACH TRUSS TO TOP PLATES/BEAM U.N.O.

5) ALL NAILS COMMON NAILS UNLESS NOTED OTHERWISE

HOLDOWN SCHEDULE			
MARK #	TYPE	WOOD MEMBER	COMMENTS
1	"SIMPSON" STD14	(2) 2x	
2	"SIMPSON" HDU4-SDS2.5	(2) 2x	USE 5/8"ø J-BOLT WITH 12" EMBEDMENT

NOTES: (1) #4 HORIZ. REBAR REQUIRED IN TOP AND BOTTOM OF STEMWALL AT ALL HOLDDOWNS (3" CLEAR), MINIMUM REBAR LENGTH = 60". CENTER REBAR AT HOLDDOWN, AT CORNERS BEND REBAR AT TOP OF 60" LENGTH, EXTEND REBAR 30" EACH WAY.

(2) AT SIMPSON HDU11--SDS2.5 HOLDDOWNS USE (2) #4L VERTICAL BARS, (1) AT EACH HOLDDOWN, HOOK VERTICAL #4L BARS INTO FOOTING.

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CENTERRA ESTATES
LOT 12 BLOCK 03

SHEAR DETAILS

A1.2



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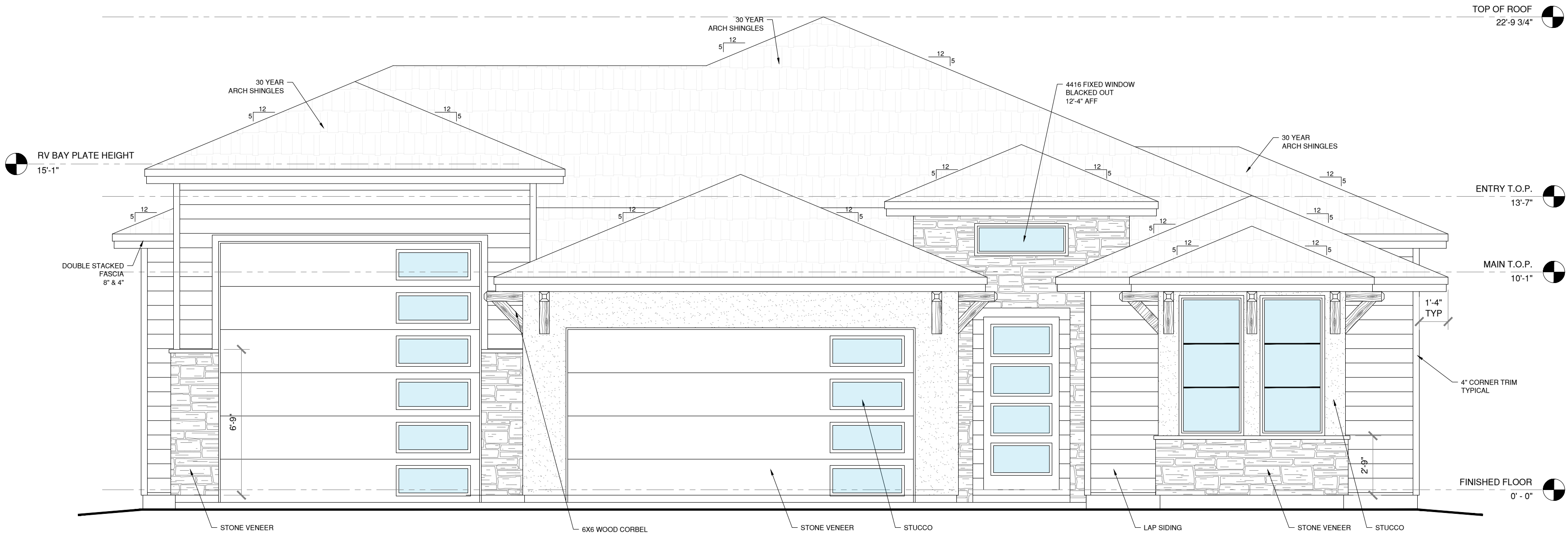
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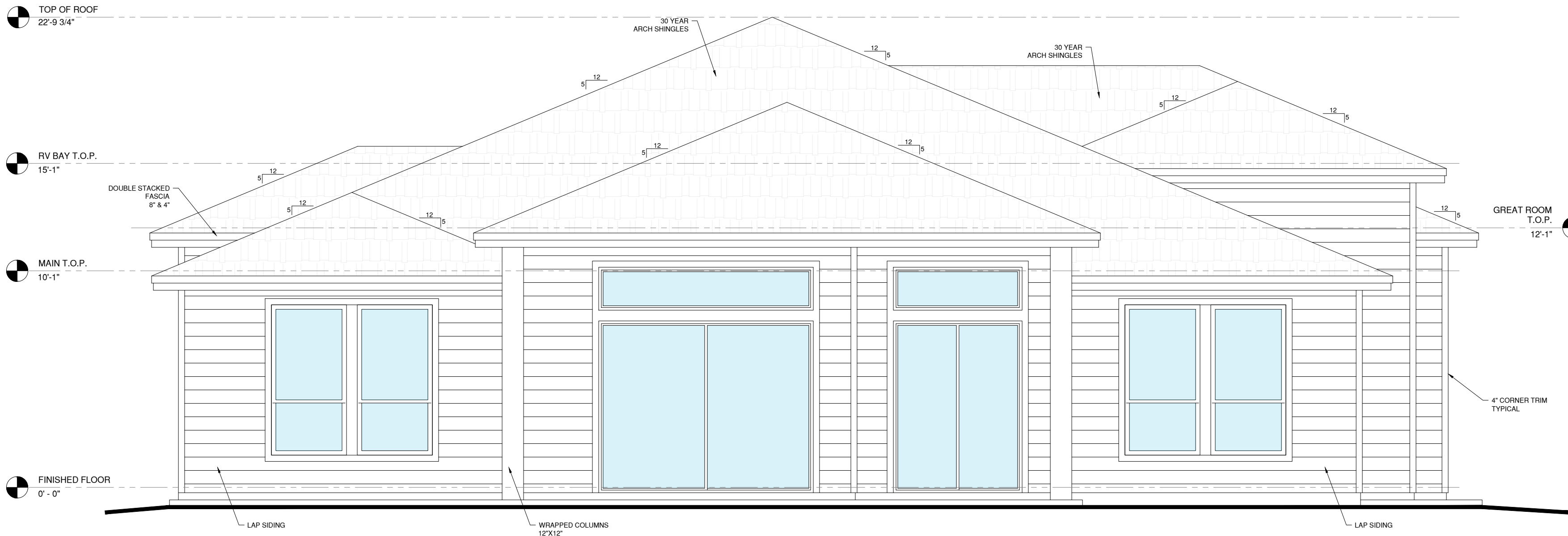
ELEVATIONS

A2.0



FRONT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



REAR ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



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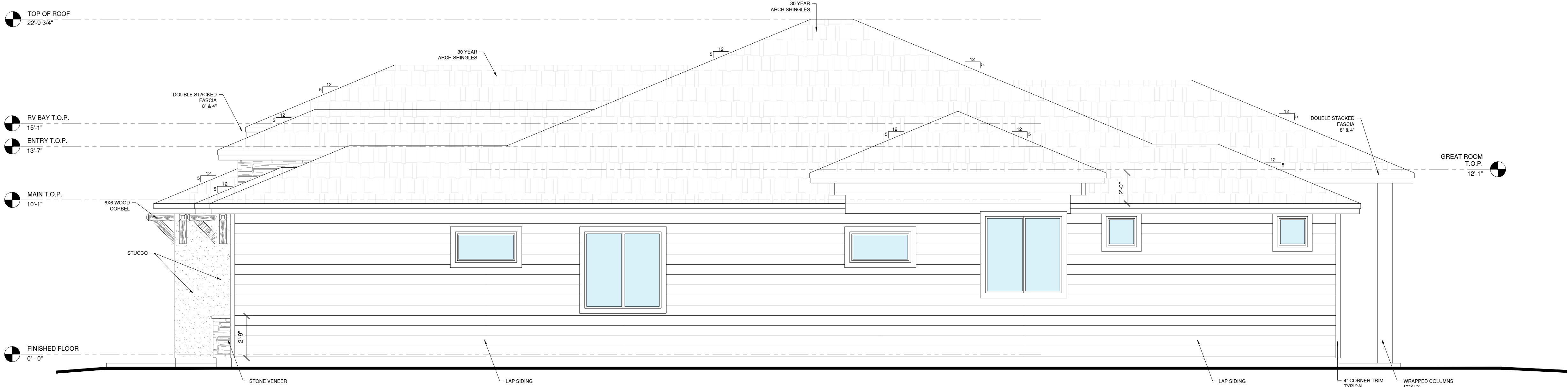
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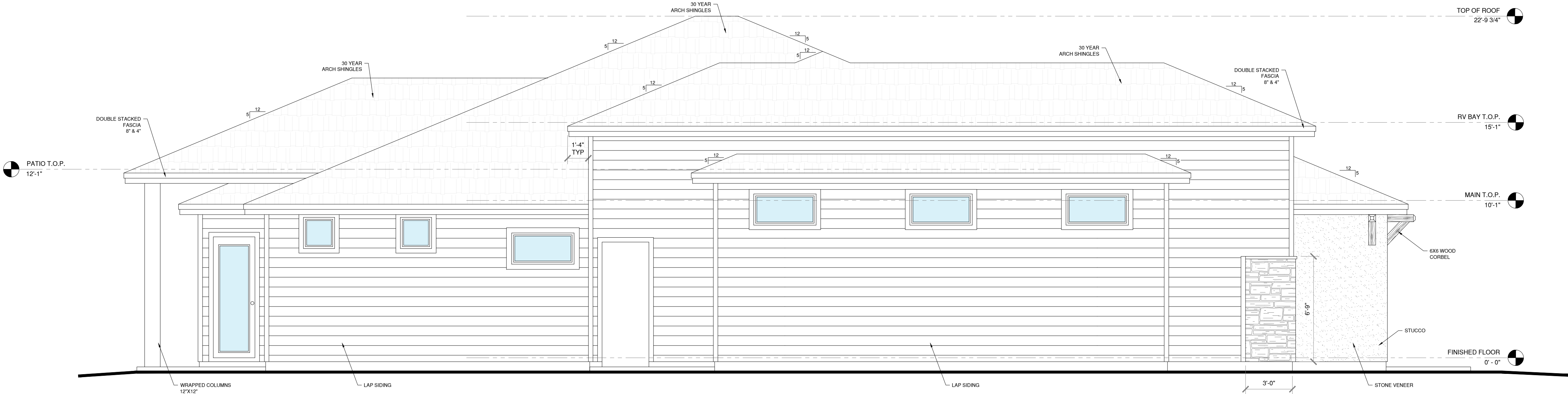
ELEVATIONS

A2.1



RIGHT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



LEFT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



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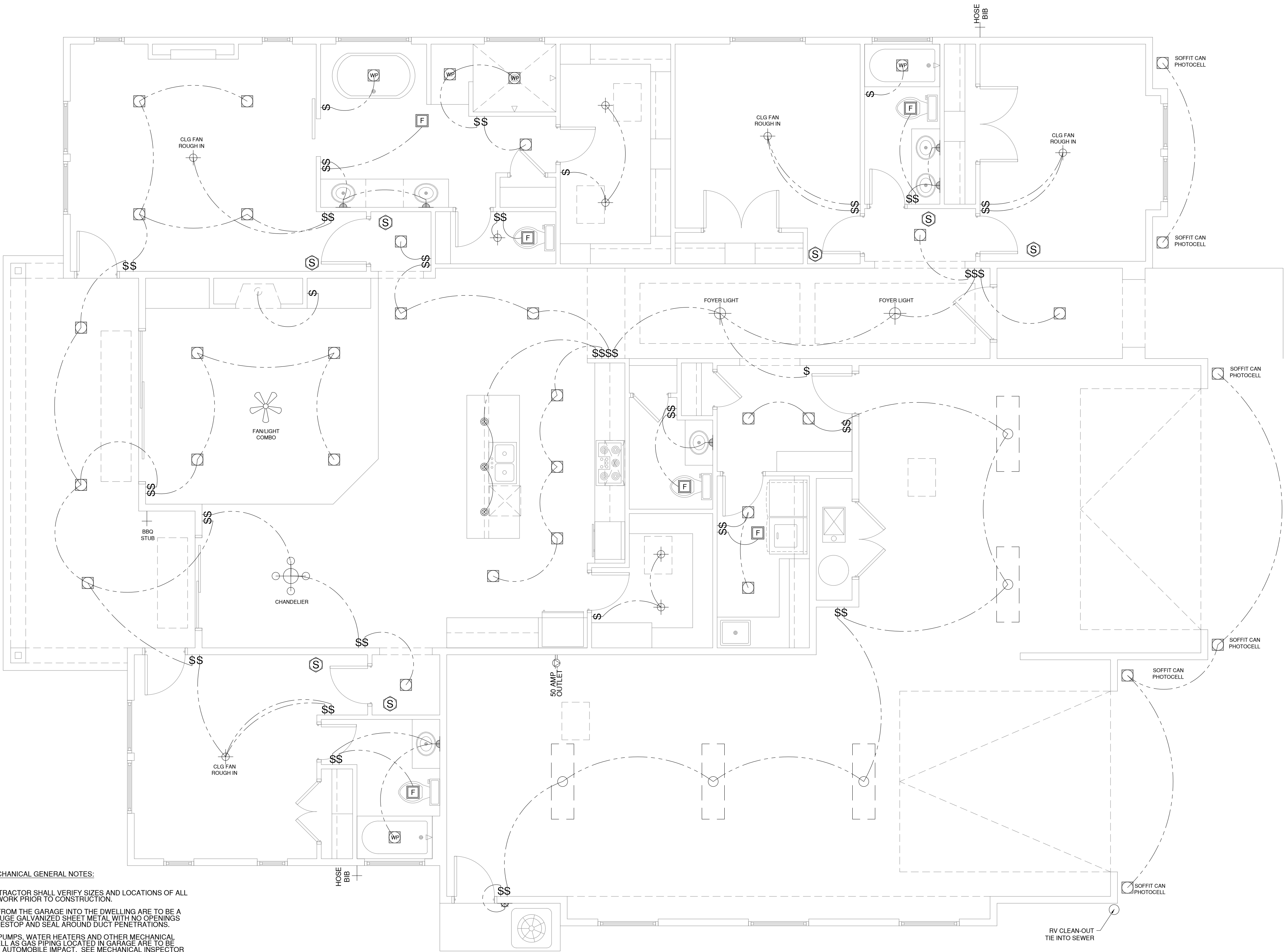
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CENTERRA ESTATES
LOT 12 BLOCK 03

ELECTRICAL PLAN

E1.0



ELECTRICAL AND MECHANICAL GENERAL NOTES:

- MECHANICAL CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL VENTS AND DUCTWORK PRIOR TO CONSTRUCTION.
- FURNACE DUCTS FROM THE GARAGE INTO THE DWELLING ARE TO BE A MINIMUM OF 26 GAUGE GALVANIZED SHEET METAL WITH NO OPENINGS INTO GARAGE. FIRESTOP AND SEAL AROUND DUCT PENETRATIONS.
- FURNACES, HEAT PUMPS, WATER HEATERS AND OTHER MECHANICAL EQUIPMENT AS WELL AS GAS PIPING LOCATED IN GARAGE ARE TO BE PROTECTED FROM AUTOMOBILE IMPACT. SEE MECHANICAL INSPECTOR FOR PROTECTION REQUIREMENTS.
- APPLIANCES INSTALLED IN GARAGE GENERATING A SPARK, CLOW OR FLAME MUST KEEP PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES A MINIMUM OF 18" ABOVE FLOOR SURFACE.
- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN REQUIRED FOR OVERCURRENT PROTECTION. ALL SMOKE DETECTORS ARE TO BE WIRED TOGETHER ON ONE CIRCUIT AND DESIGNED FOR ALL DETECTORS TO SOUND IF ONE DETECTOR IS ACTIVATED.
- IN BATHROOMS, WATER CLOSET COMPARTMENTS AND LAUNDRY ROOMS PROVIDE A MECHANICAL FAN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR OR OPERABLE WINDOW. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- MIN. 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

PRESCRIPTIVE ENERGY CODE COMPLIANCE

THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC)

TABLE N1102.1						
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT						
CLIMATE ZONE	WINDOW U-FACTOR	CEILING R-VALUE	WOOD WALL R-VALUE	FLOOR R-VALUE	SLAB R-VALUE	MECHANICAL DUCTING
5	0.35	38	21 (or) 13+5	30	10, 2FT	8

SEE MANUAL J VALUES



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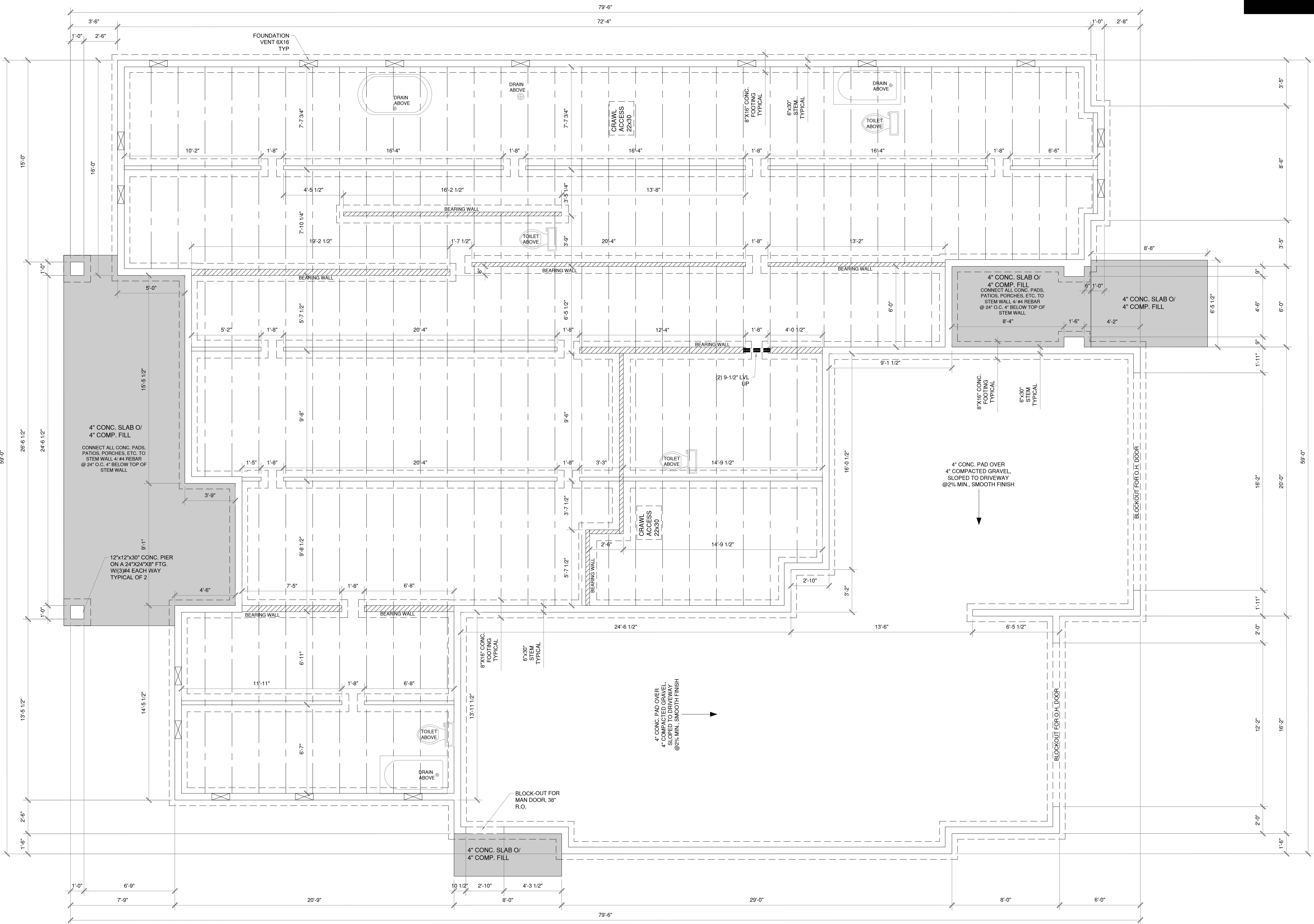
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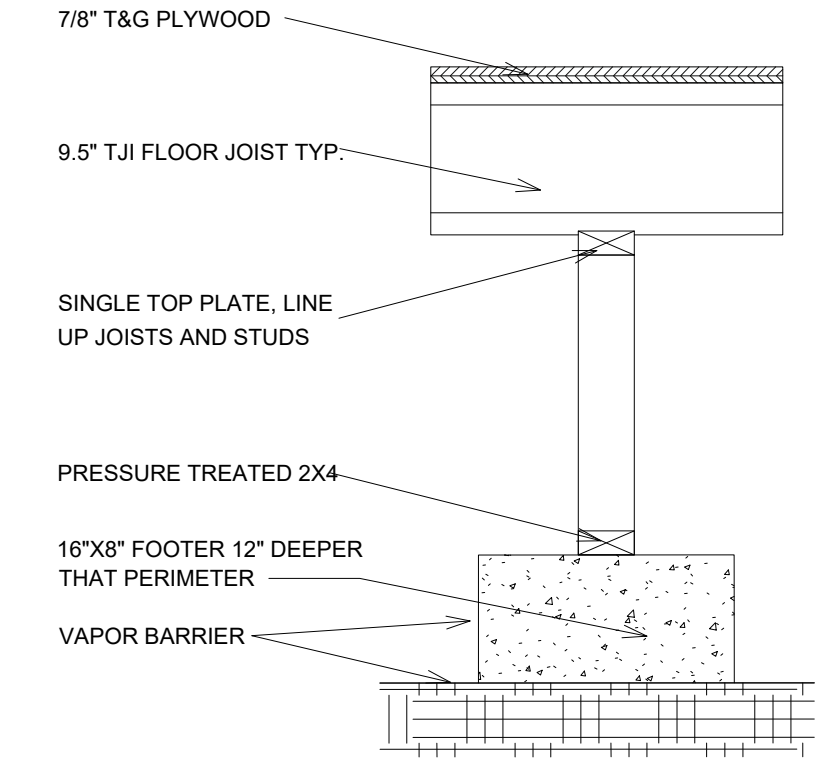
FOUNDATION PLAN

S1.0



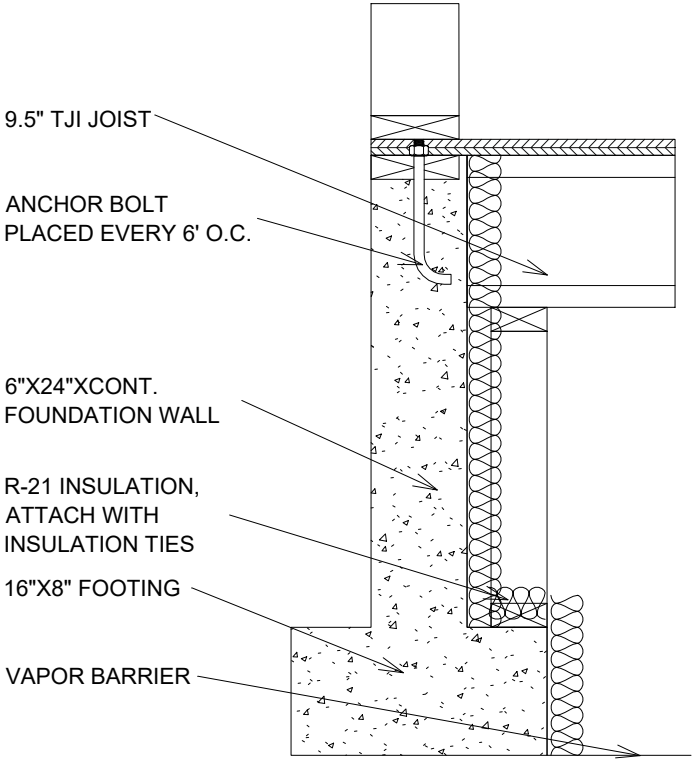
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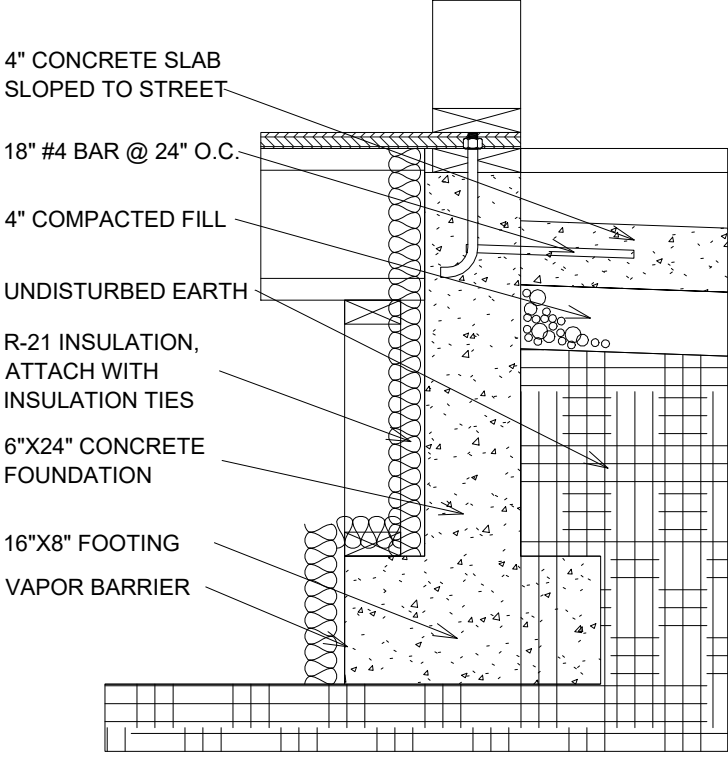
2 PONY WALL DETAIL

1" = 1'-0"



3 STEM WALL DETAIL

1" = 1'-0"



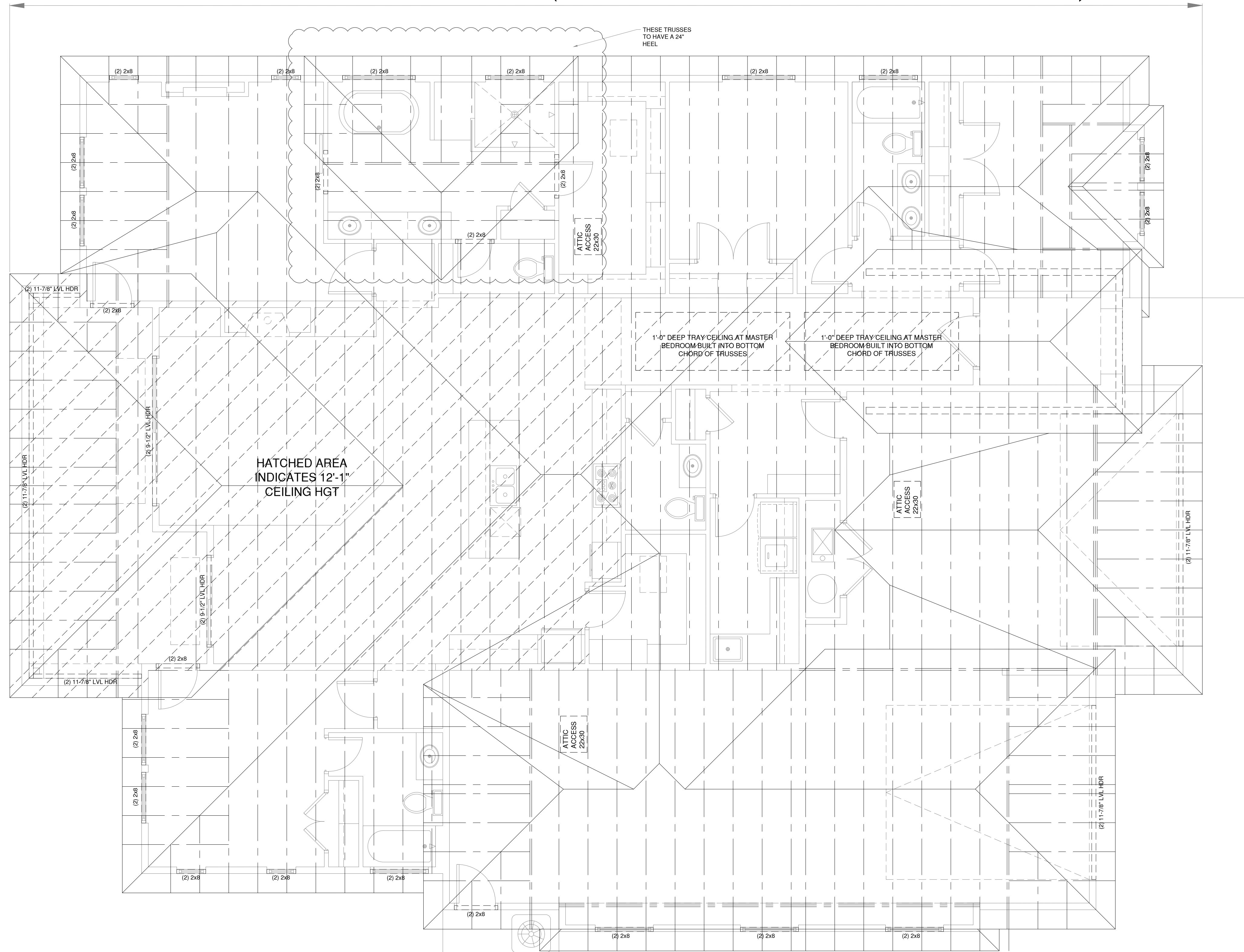
4 TYPICAL FOUNDATION SECTION

1" = 1'-0"

- FLOOR FRAMING NOTES:
1. PROVIDE MINIMUM 18" CRAWL SPACE CLEARANCE UNDER GIRDERS AND MINIMUM 24" CLEARANCE UNDER FLOOR JOISTS
 2. COVER ENTIRE CRAWLSPACE AND INSIDE FACE OF STEM WALLS UP TO SILL PLATE WITH 6 MIL. VISQUEEN TO CREATE A "BLADDER SYSTEM". SEAL ALL SEAMS W/ 4" VYCOR TAPE.
 3. UNLESS OTHERWISE NOTED ON PLANS, USE 7/8" T&G OSB DECKING OVER 9-1/2" FLOOR JOISTS @ 24" O.C. (13'-9" MAX. CLEAR SPAN). FRAMING SUB-CONTRACTOR MAY NEED TO ADJUST JOIST SPACING AS REQUIRED FOR PLUMBING ITEMS THAT REQUIRE A DRAIN PENETRATING FLOOR SURFACE ABOVE.
 4. PONYWALLS ARE 2x4 CONSTRUCTION @ 24" O.C. UNLESS NOTED OTHERWISE. ALIGN STUDS UNDER JOISTS. ADDITIONAL 2x4 STUDS MAY BE REQUIRED IN PONYWALLS FOR ROOF-BEARING POINT LOADS.
 5. ALL WOOD COMING INTO CONTACT WITH CONCRETE TO BE PRESSURE-TREATED WOOD OR EQUALLY WATER RESISTANT PER CODE.
 6. PROVIDE R-19 INSULATION BETWEEN FLOOR JOISTS OVER ALL UNHEATED AREA.



PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. (SEE MANUFACTURE'S TRUSS PACKET AND ENGINEERING)



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

ROOF FRAMING NOTES:

1. BUILDER RESERVES THE RIGHT TO CHANGE PLANS TO MEET CURRENT BUILDING CODES
2. (2)x8 DF HEADERS @ ALL OPENINGS LESS THAN 5'-0" IN WIDTH U.N.O.
3. (2)x10 DF HEADERS @ ALL OPENINGS GREATER THAN 5'-0" IN WIDTH U.N.O.
4. REFER TO ELEVATIONS FOR ADDITIONAL INFO
5. PROVIDE ATTIC VENTILATION USING GABLE VENTS AND/OR RIDGE VENTS PER LOCAL CODES
6. PROVIDE SCREENED SOFFIT VENTILATION AT EAVES PER LOCAL CODES
7. ROOF COVERING TO CONSIST OF 30 YEAR ARCHITECTURAL SHINGLES OR BETTER

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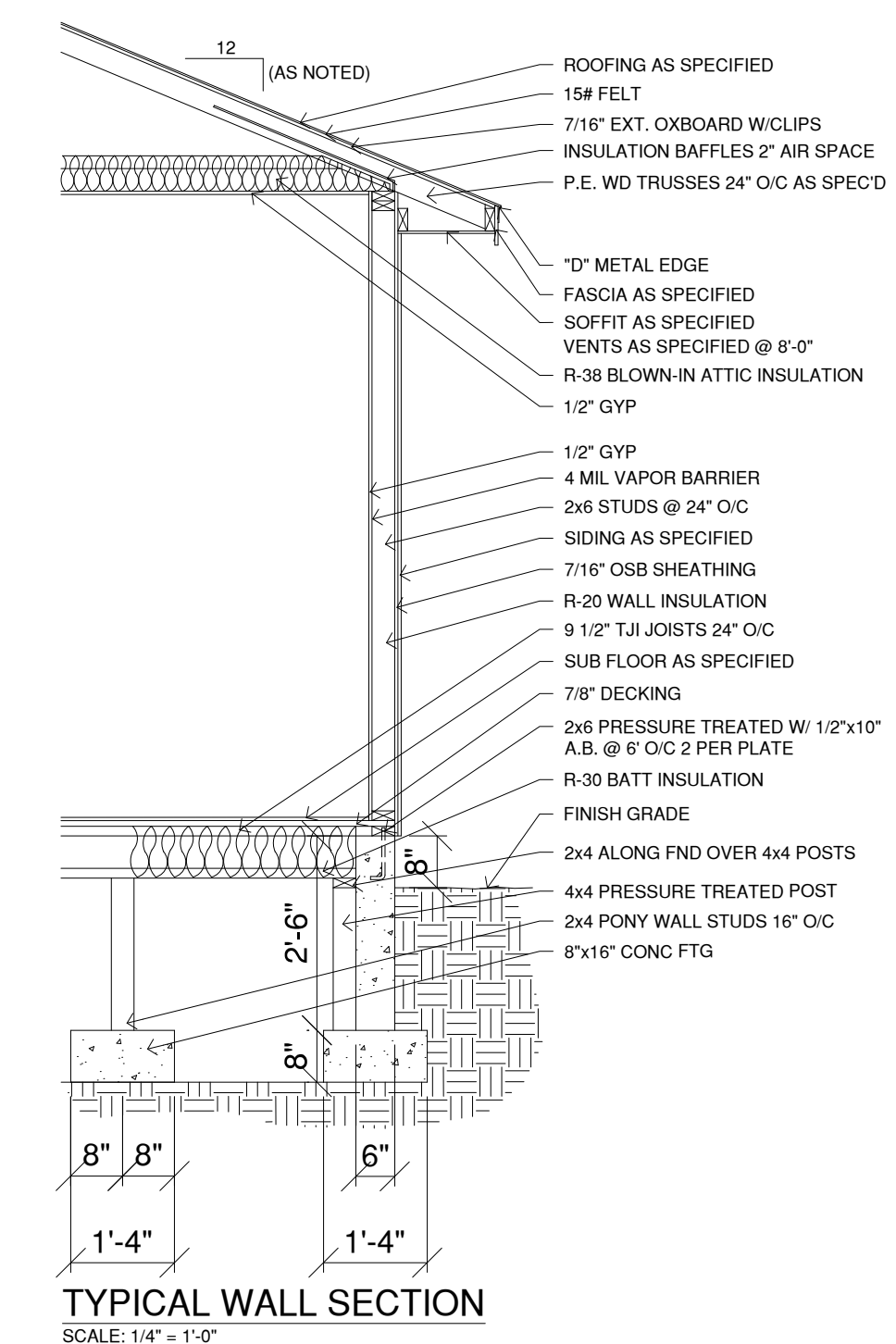
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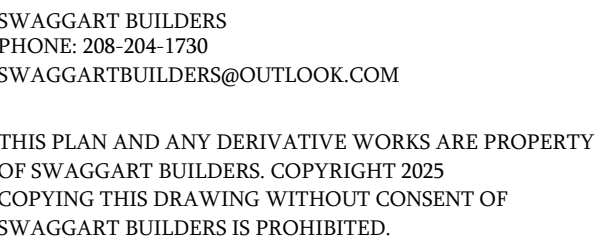
ROOF FRAMING

S2.0



NOTES:

- PER CODE R703.2 WATER RESISTANCE HOUSE WRAP PER CODE REQUIREMENTS.
- PER CODE R703.8 FLASHING, FLASHING NEEDS TO BE ADDED AROUND WINDOW AND DOOR OPENINGS PER MANUFACTURER SPEC'S.



NOTES:
* ALL SOFFITS TO HAVE CONTINUOUS SOFFIT VENTS INSTALLED
* ALL INSULATION BAFFLES EVENLY DISTRIBUTED IN ROOF AREAS
* INSULATION BAFFLES PROVIDE 45 SQ. IN. OF VENTILATION PER BAY.
* BOX VENTS IN ROOF PROVIDE 50 SQ. IN. OF VENTILATION PER VENT.

CENTERRA ESTATES #1
TBD N. GRACIE AVE
EAGLE, IDAHO

[illegible]

MAIN FLOOR AREA: 2,638 SF	
SECOND FLOOR AREA: 0 SF	
UNFINISHED AREA: 0 SF	
TOTAL CONDITIONED AREA:	2,638 SF
PORCH / PATIO AREA: 335 SF	
GARAGE AREA: 1,266 SF	
TOTAL AREA:	4,239 SF

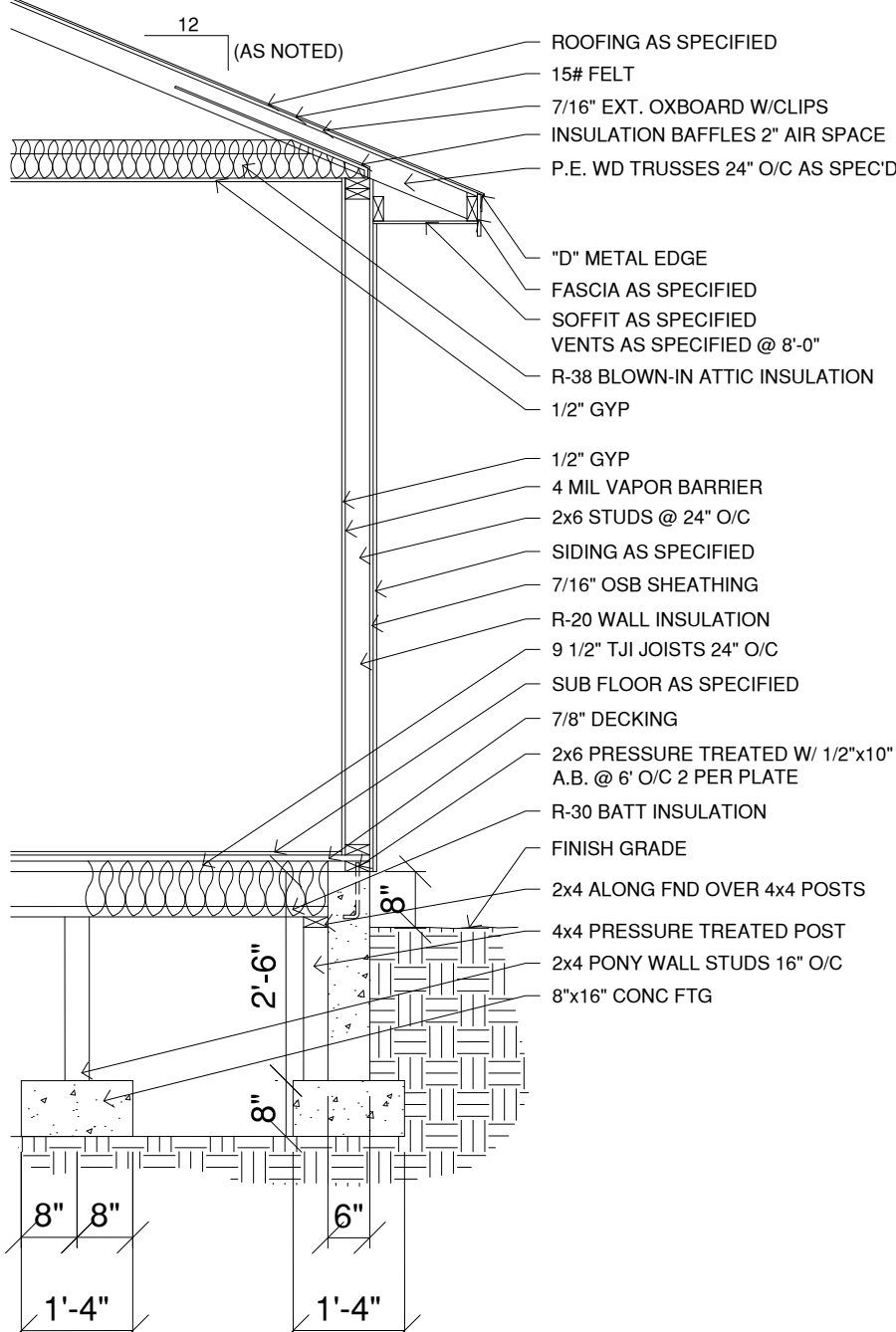
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PAPER SIZE:	36X24

ROOF PLAN

S3.0



SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



TYPICAL WALL SECTION
SCALE: 1/4" = 1'-0"

- NOTES:**
- PER CODE R703.2 WATER RESISTANCE HOUSE WRAP PER CODE REQUIREMENTS.
 - PER CODE R703.8 FLASHING, FLASHING NEEDS TO BE ADDED AROUND WINDOW AND DOOR OPENINGS PER MANUFACTURER SPEC'S.



SWAGGART BUILDERS
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SWAGGART RESIDENCE

CENTERRA ESTATES #1
TBD N. GRACIE AVE
EAGLE, IDAHO

REVISION SCHEDULE

#	DESCRIPTION	DATE
1		

MAIN FLOOR AREA: 2,638 SF	
SECOND FLOOR AREA: 0 SF	
UNFINISHED AREA: 0 SF	
TOTAL CONDITIONED AREA:	2,638 SF
PORCH / PATIO AREA: 335 SF	
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CENTERRA ESTATES
LOT 12 BLOCK 03

STRUCTURAL
DETAILS
SD1.0

