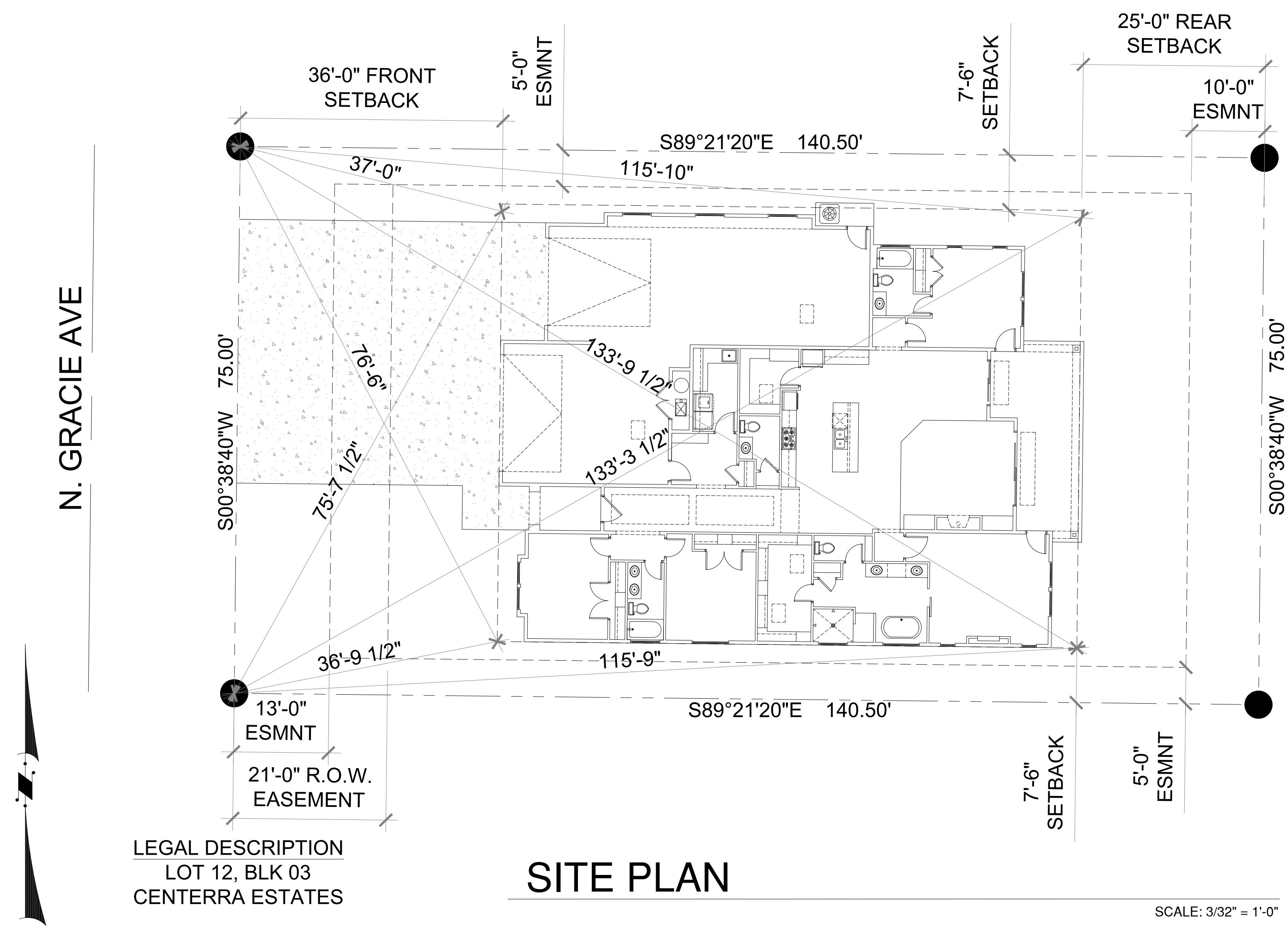




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COVERED ROOF AREAS	
MAIN LEVEL	2,638 SQ FT
UPPER LEVEL	0 SQ FT
TOTAL LIVING AREA	2,638 SQ FT
COVERED PORCH/PATIO	335 SQ FT
GARAGE	1266 SQ FT
BUILDING TOTAL	4,239 SQ FT
LOT AREA	10,538 SQ FT
LOT COVERAGE %	40%

DATE 1/16/2025 PLAN 2638

CENTERRA SUB # 1 - LOT 12 BLOCK 03

EAGLE ADA IDAHO 83616

CONTRACTOR NOTE:
RAIN GUTTERS ARE TO BE TIED INTO
DRAINAGE SYSTEM SO THAT RUNOFF
CAN BE DISPERSED INTO THE FRONT
OF THE LOT PER ACC REQUIREMENTS

SWAGGART RESIDENCE

CENTERRA ESTATES #1
TBD N. GRACIE AVE
EAGLE, IDAHO

REVISION SCHEDULE		
#	DESCRIPTION	DATE
1		

MAIN FLOOR AREA: 2,638 SF
SECOND FLOOR AREA: 0 SF
UNFINISHED AREA: 0 SF
TOTAL CONDITIONED AREA: 2,638 SF
PORCH / PATIO AREA: 335 SF
GARAGE AREA: 1,266 SF
TOTAL AREA: 4,239 SF
BASE MODEL: SWAGGART 2638 MODEL
DRAWN BY: LS
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CENTERRA ESTATES
LOT 12 BLOCK 03

SITE PLAN

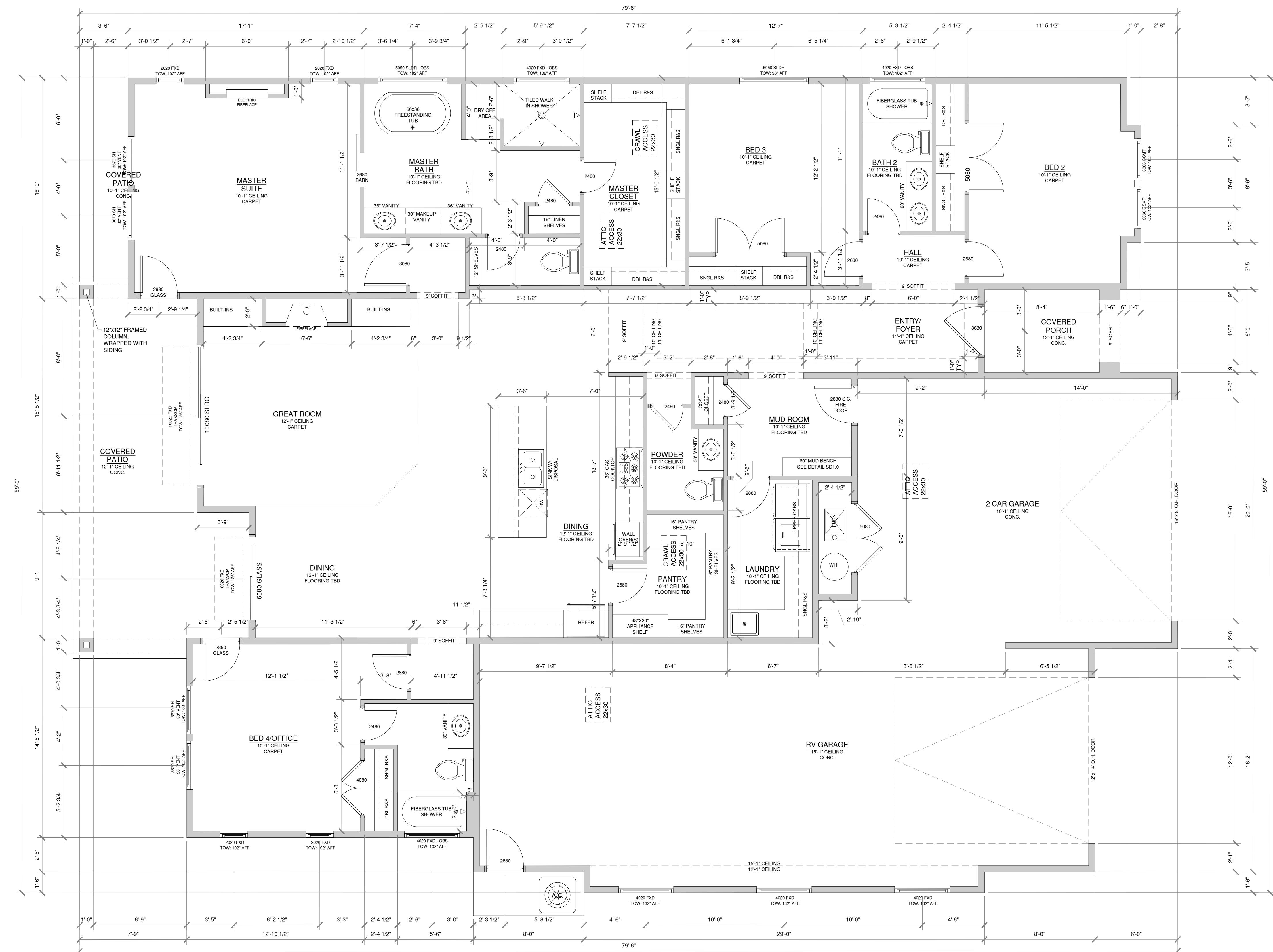
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CENTERRA ESTATES #1 TBD N. GRACIE AVE EAGLE, IDAHO



APPROXIMATE SQUARE FOOTAGE

MAIN LEVEL	2,638	SQ FT
UPPER LEVEL	0	SQ FT
TOTAL LIVING AREA	2,638	SQ FT
COVERED PORCH/PATIO	335	SQ FT
GARAGE	1266	SQ FT
BUILDING TOTAL	4,239	SQ FT

REVISION SCHEDULE		
#	DESCRIPTION	DATE
1		
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	TOTAL CONDITIONED AREA: 2,638 SF	
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	GARAGE AREA: 1,266 SF	
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	PAPER SIZE: 36x24	

CENTERRA ESTATES LOT 12 BLOCK 03

MAIN FLOOR PLAN

A1.0



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REVISION SCHEDULE

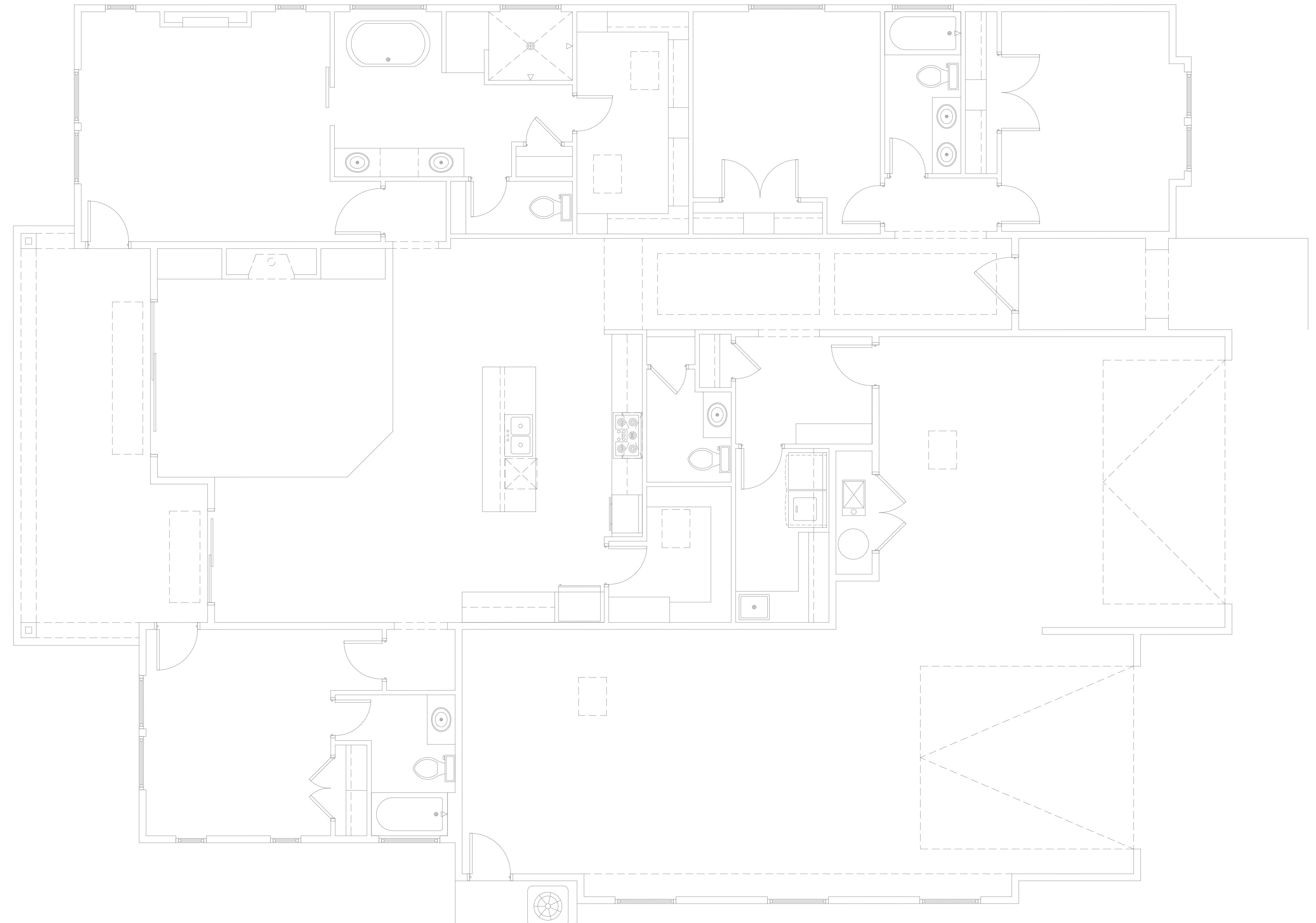
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ND FLOOR AREA: 0 SF	
NISHED AREA: 0 SF	
TAL CONDITIONED AREA:	2,638 SF
CH / PATIO AREA: 335 SF	
AGE AREA: 1,266 SF	
AL AREA:	4,239 SF

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SION DATE:	01/16/2025
RR SIZE:	36X24

INTERRA ESTATES LOT 12 BLOCK 03

WALL BRACING

A1.1



WALL BRACING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



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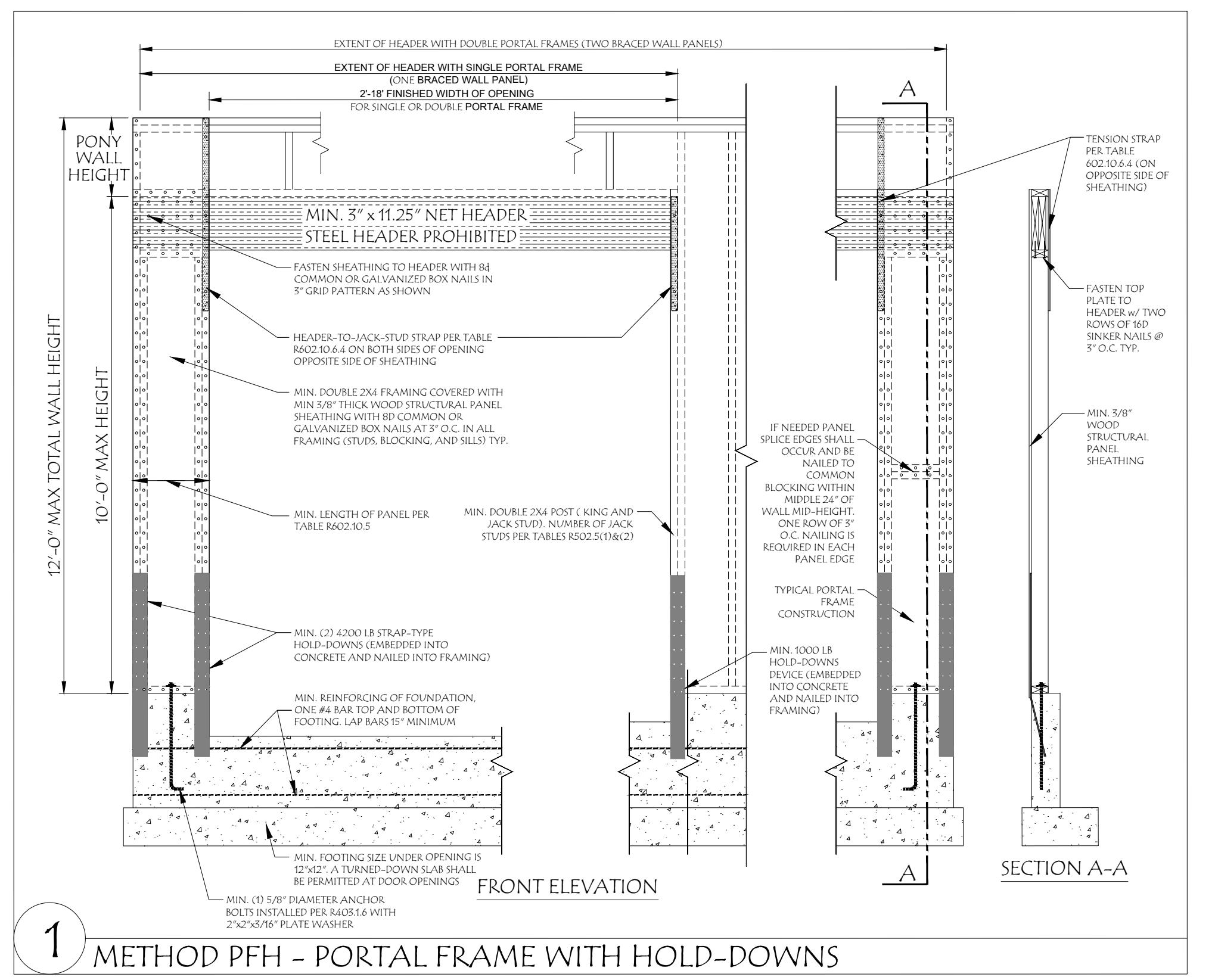
ENTERRA ESTATES #1
TBD N. GRACIE AVE
EAGLE, IDAHO

FLOOR AREA: 2,638 SF	
FLOOR AREA: 0 SF	
FINISHED AREA: 0 SF	
TAL CONDITIONED AREA:	2,638 SF
CH / PATIO AREA: 335 SF	
AGE AREA: 1,266 SF	
AL AREA:	4,239 SF

ENTERRA ESTATES LOT 12 BLOCK 03

SHEAR DETAILS

A1.2



METHOD PFH - PORTAL FRAME WITH HOLD-DOWNS

SHEAR WALL SCHEDULE				
MARK #	SHEATHING	NAILING	END MEMBERS	SILL ANCHORS
1	APA 7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 6" O.C. EDGES, 8d @ 12" O.C. FIELD	(1) 2 X	1/2"Ø x 7" EMBED. @ 3'-0" O.C.
2	APA 7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 4" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2 X	1/2"Ø x 7" EMBED. @ 2'-0" O.C.
3	APA 7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 3" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2 X	1/2"Ø x 7" EMBED. @ 1'-8" O.C.
4	1/2" GYP. BOARD (MIN.), ONE SIDE, UNBLOCKED	6d COOLERS @ 7" O.C. EDGES , & 7" O.C. FIELD	(1) 2 X	16d @ 16" O.C., BOTTOM PLATE SHEARWALL THROUGH FLOOR DIA.
5	1/2" GYP. BOARD (MIN.), BOTH SIDES, UNBLOCKED	6d COOLERS @ 7" O.C. EDGES , & 7" O.C. FIELD	(1) 2 X	16d @ 16" O.C., BOTTOM PLATE SHEARWALL THROUGH FLOOR DIA.
6	1/2" GYP. BOARD (MIN.), ONE SIDE, UNBLOCKED	6d COOLERS @ 7" O.C. EDGES , & 7" O.C. FIELD	(1) 2 X	1/2"Ø x 7" EMBED. @ 4'-0" O.C.
7	5/8" GYP. BOARD (MIN.), BOTH SIDES, BLOCKED	6d COOLERS @ 4" O.C. EDGES , & 4" O.C. FIELD	(2) 2 X	1/2"Ø x 7" EMBED. @ 3'-0" O.C.

NOTES: 1) SILL ANCHOR SPACING IS UNDER SHEAR WALLS, SPACE ALL OTHER EXTERIOR SILL ANCHORS @ 4'-0" O.C.
2) IF SHEARWALL REQUIRES HOLDOWNS, USE WOOD MEMBER FROM HOLDOWN SCHEDULE IN PLACE OF END MEMBERS
3) FULL HEIGHT TRUSS BLOCKING REQUIRED AT ALL SHEARWALLS WITH TRUSS HEEL HEIGHTS OVER 9.25" TALL. NAIL ROOF DIAPHRAGM TO EACH BLOCKING
WITH 8d AT 6" O.C., TOE NAIL EACH BLOCKING TO TOP PLATES WITH (4) 16d COMMON NAILS.
4) USE "SIMPSON" H2.5A AT EACH TRUSS TO TOP PLATES/BEAM U.N.O.
5) ALL NAILS COMMON NAILS UNLESS NOTED OTHERWISE

HOLDOWN SCHEDULE			
MARK #	TYPE	WOOD MEMBER	COMMENTS
1	"SIMPSON" STHD14	(2) 2x	
2	"SIMPSON" HDU4-SDS2.5	(2) 2x	USE 5/8"Ø J-BOLT WITH 12" EMBEDMENT

NOTES: (1) #4 HORIZ. REBAR REQUIRED IN TOP AND BOTTOM OF STEMWALL AT ALL HOLDOWNS (3" CLEAR), MINIMUM REBAR LENGTH = 60", CENTER REBAR AT HOLDOWN, AT CORNERS BEND REBAR AT CENTER OF 60" LENGTH, EXTEND REBAR 30" EACH WAY.

(2) AT SIMPSON HDU11-SDS2.5 HOLDOWNS USE (2) #4L VERTICAL BARS, (1) AT EACH HOLDOWN, HOOK VERTICAL #4L BARS INTO FOOTING.

STRUCTURAL DETAILS:

- Header:** NAIL BOTTOM TOP PLATE TO HEADER WITH 16d AT 6" O.C.
- Header by Others:** (MIN. HEADER = 3.5" x 11.25"), EXTEND HEADER TO END OF FRAME
- Double #2 D.F. Top Plates:** NAIL PLATES TOGETHER WITH 16d @ 6" O.C.
- Nail Sheathing:** NAIL SHEATHING TO HEADER WITH 8d NAILS AT 3" O.C. HORIZONTALLY AND VERTICALLY
- #2 D.F. 2x6:** "SIMPSON" MSTA21 STRAP ON INTERIOR AND EXTERIOR OF WALL FROM HEADER TO LAST STUD IN WALL, TYPICAL OF (4) AT EACH WING WALL
- #2 D.F. 2x6 Kings:** (4) #2 D.F. 2x6 KINGS NAIL ALL MEMBERS TOGETHER WITH 16d AT 6" O.C.
- #2 D.F. 2x6 Blocking:** #2 D.F. 2x6 BLOCKING @24" O.C. NAIL SHEARWALL TO ALL BLOCKING. BLOCKING ALSO REQUIRED AT ALL PANEL EDGES
- #2 D.F. 2x6 Blocking:** #2 D.F. 2x6 BLOCKING @24" O.C. NAIL SHEARWALL TO ALL BLOCKING. BLOCKING ALSO REQUIRED AT ALL PANEL EDGES
- Shearwall:** SEE SCHEDULE
- Per Plan:** PER PLAN
- Concrete Stemwall:** 6" WIDE CONCRETE STEMWALL REQUIRED AT FRAME. CENTER ALL BOLTS IN CENTER OF STEMWALL. USE (1) #4 CONT. BAR TOP AND BOTTOM OF STEMWALL
- Simpson Connectors:**
 - SIMPSON STHD14, ATTACH TO FULL HEIGHT (2) 2x6
 - SIMPSON STHD14, ATTACH TO FULL HEIGHT 2X6 KING STUDS
 - SIMPSON STHD14, ATTACH TO FULL HEIGHT (2) 2x6
 - (2) $\frac{5}{8}$ " J-BOLT WITH 12" EMBED AND 2x2x $\frac{3}{16}$ PLATE WASHERS
 - (2) $\frac{5}{8}$ " J-BOLT WITH 12" EMBED AND 2x2x $\frac{3}{16}$ PLATE WASHERS

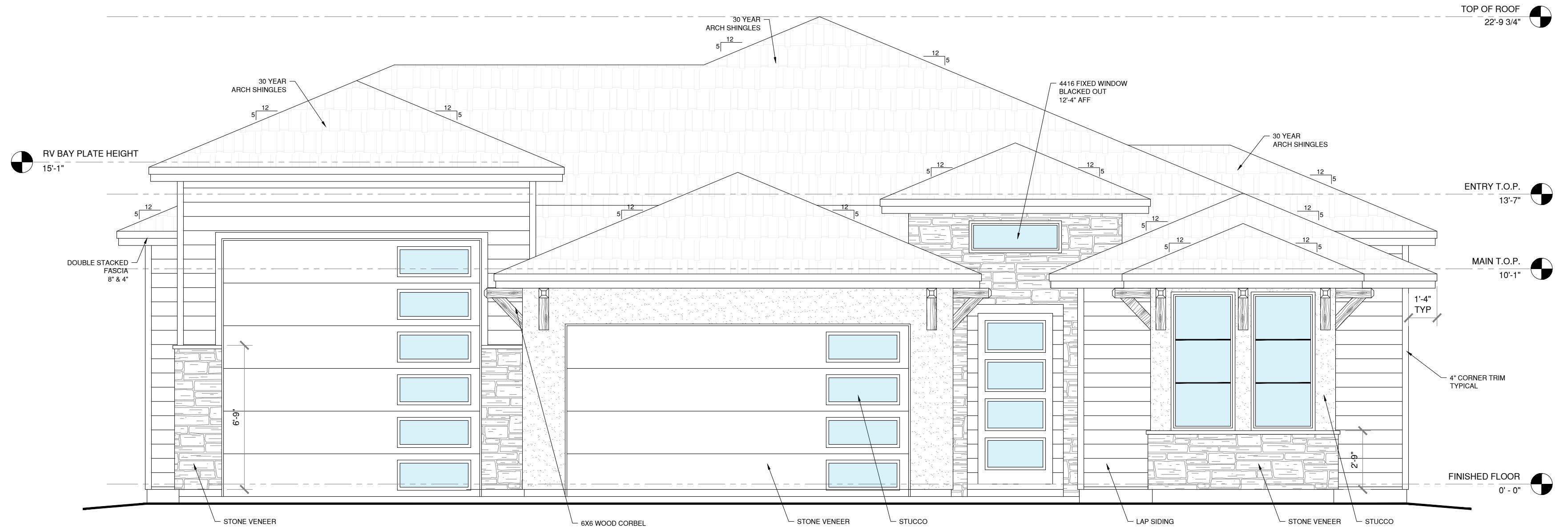
PORTAL FRAME AT RV GARAGE — N.T.S.



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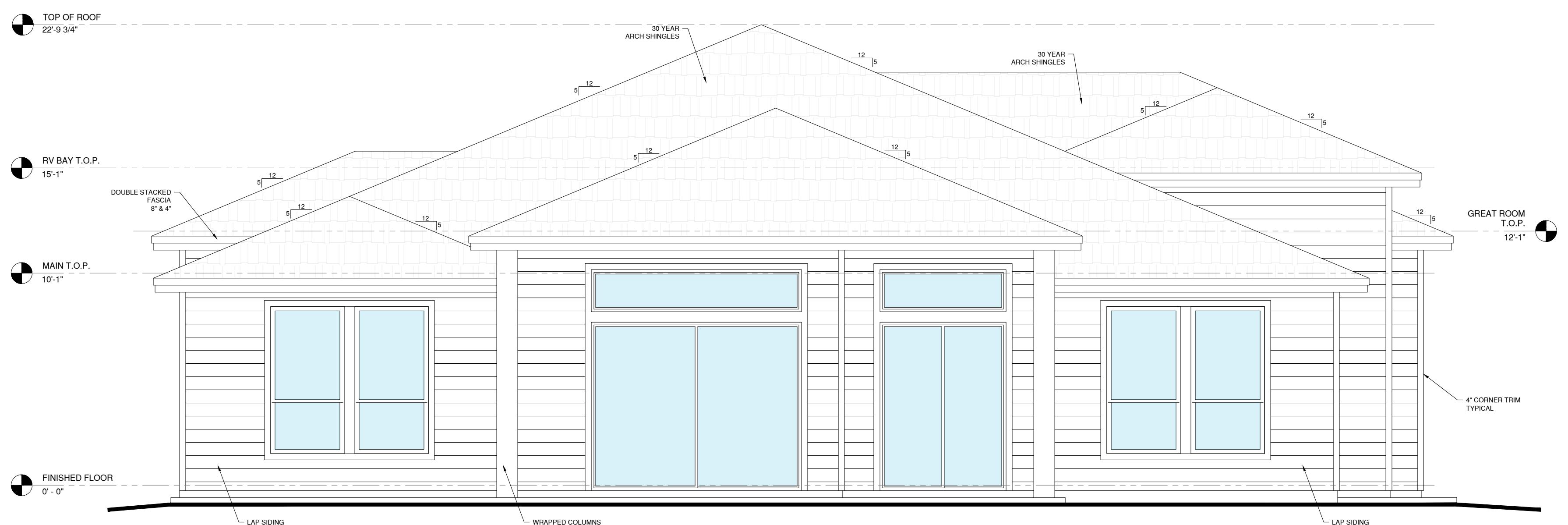
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FRONT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



REAR ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

REVISION SCHEDULE		
#	DESCRIPTION	DATE
1		

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**CENTERRA ESTATES
LOT 12 BLOCK 03**

ELEVATIONS

A2.0

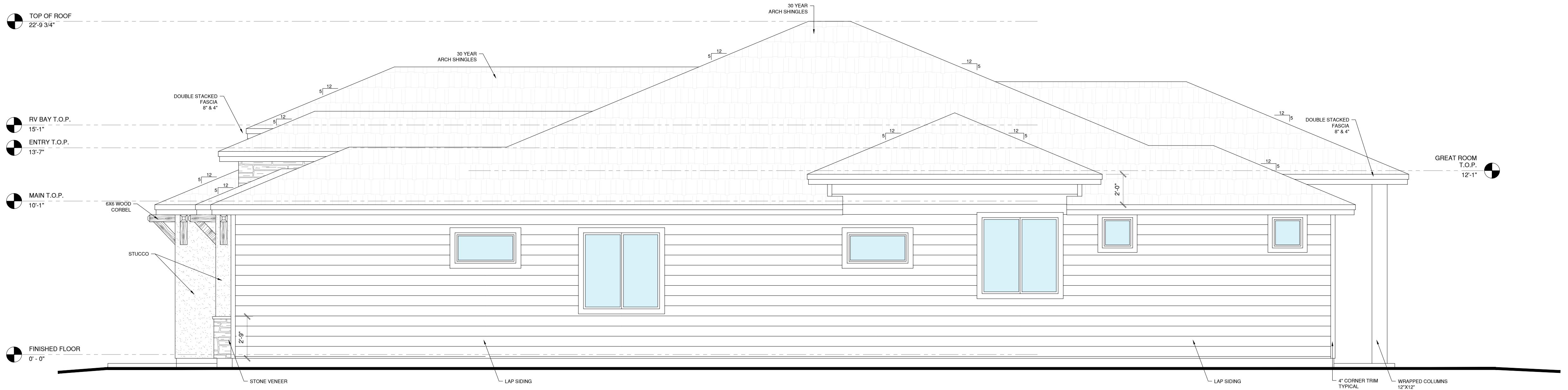


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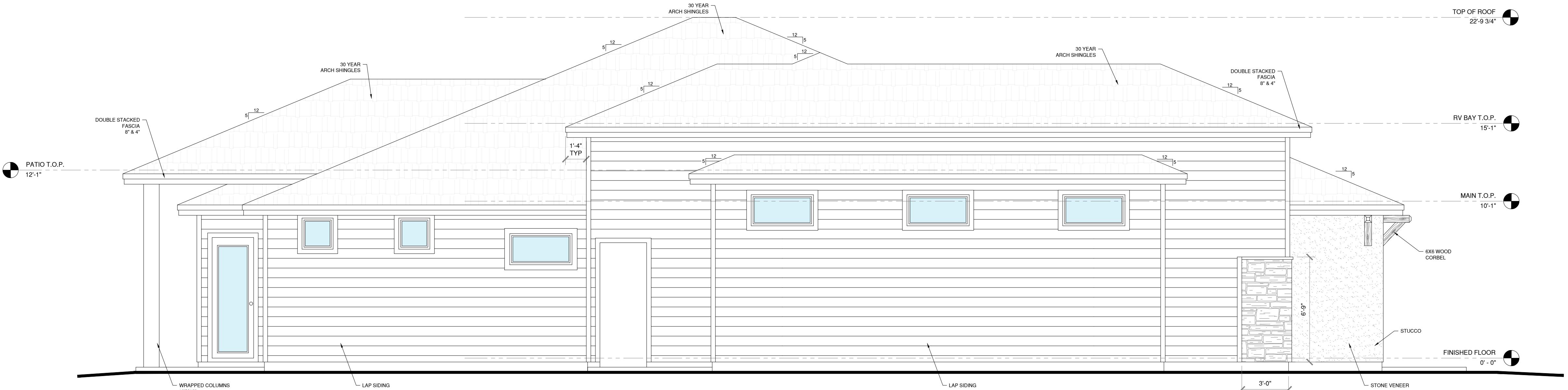
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CENTERRA ESTATES #1
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RIGHT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



LEFT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

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CENTERRA ESTATES

LOT 12 BLOCK 03

ELEVATIONS

A2.1

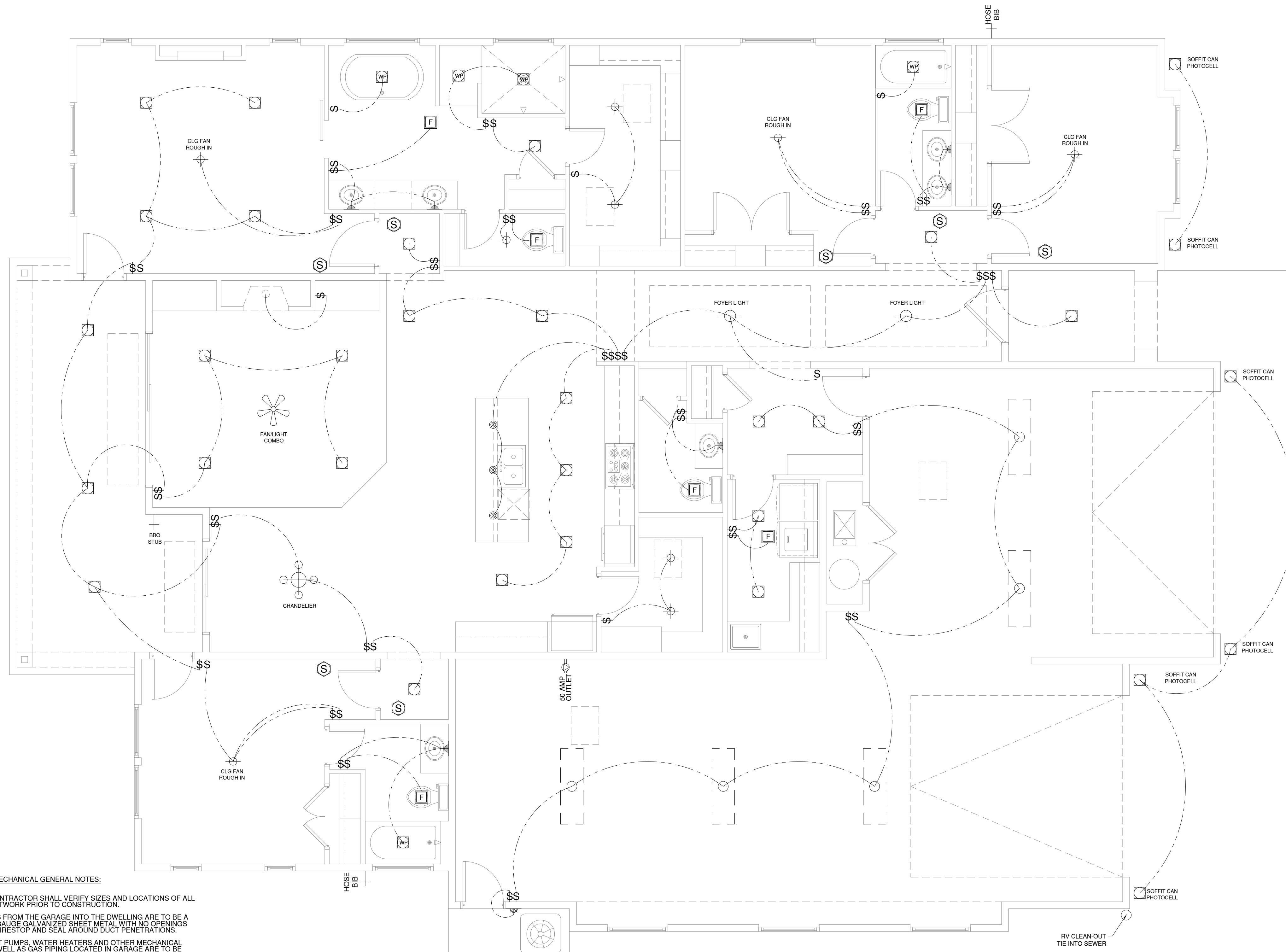


CENTERRA ESTATES #1
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ELECTRICAL LEGEND	
ID	DESCRIPTION
(S)	SMOKE / CO2 DETECTOR
(F)	EXHAUST FAN
(S)	POLE SWITCH
(S)	SINGLE POLE SWITCH W/ DIMMER
(○)	110v OUTLET - DUPLEX RECEPTACLE
(○)	110v OUTLET - QUADRUPLE RECEPTACLE
(○)	220v OUTLET - SPECIAL PURPOSE RECEPTACLE
(□)	RECESSED CAN LIGHTING - FLUSH MOUNTED
(○)	PENDULUM LIGHTING - SUSPENDED FROM CEILING
(○)	STANDARD LIGHTING - CEILING MOUNTED
(○)	STANDARD SCONCE - WALL MOUNTED
(□)	PUCK LIGHTING
(○)	EXTERIOR SCONCE - WALL MOUNTED
(□)	FLUORESCENT FIXTURE - CEILING MOUNTED
(fan)	CEILING FAN

ELECTRICAL AND MECHANICAL GENERAL NOTES:

1. MECHANICAL CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL VENTS AND DUCTWORK PRIOR TO CONSTRUCTION.
2. FURNACE DUCTS FROM THE GARAGE INTO THE DWELLING ARE TO BE A MINIMUM OF 26 GAUGE GALVANIZED SHEET METAL WITH NO OPENINGS INTO GARAGE. FIRESTOP AND SEAL AROUND DUCT PENETRATIONS.
3. FURNACES, HEAT PUMPS, WATER HEATERS AND OTHER MECHANICAL EQUIPMENT ARE TO BE LOCATED IN A SEPARATE GROUND FLOOR AREA AND PROTECTED FROM AUTOMOBILE IMPACT. SEE MECHANICAL INSPECTOR FOR PROTECTION REQUIREMENTS.
4. APPLIANCES INSTALLED IN GARAGE GENERATING A SPARK, GLOW OR FLICKER SHALL NOT BE LOCATED NEAR ELEMENTS AND SWITCHES A MINIMUM OF 18" ABOVE FLOOR SURFACE.
5. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTER BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THE CIRCUIT BREAKER. THE BATTER BACKUP FOR THE DETECTORS ARE TO BE WIRED TOGETHER ON ONE CIRCUIT AND DESIGNED FOR ALL DETECTORS TO SOUND IF ONE DETECTOR IS ACTIVATED.
6. IN BATHROOMS, WATER CLOSET COMPARTMENTS AND LAUNDRY ROOMS PROVIDE A DRAVABLE CABLE PROVIDING FIVE AIR CHANGES PER HOUR OR DRAVABLE WIND LOW THE PORTION DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
7. MIN. 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

TABLE N1102.1						
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT						
CLIMATE ZONE	WINDOW U-FACTOR	CEILING R-VALUE	WOOD WALL R-VALUE	FLOOR R-VALUE	SLAB R-VALUE	MECHANICAL DUCTING
5	0.35	38	21 (or) 13+5	30	10, 2FT	8

SEE MANUAL J VALUES

**CENTERRA ESTATES
LOT 12 BLOCK 03**

ELECTRICAL PLAN

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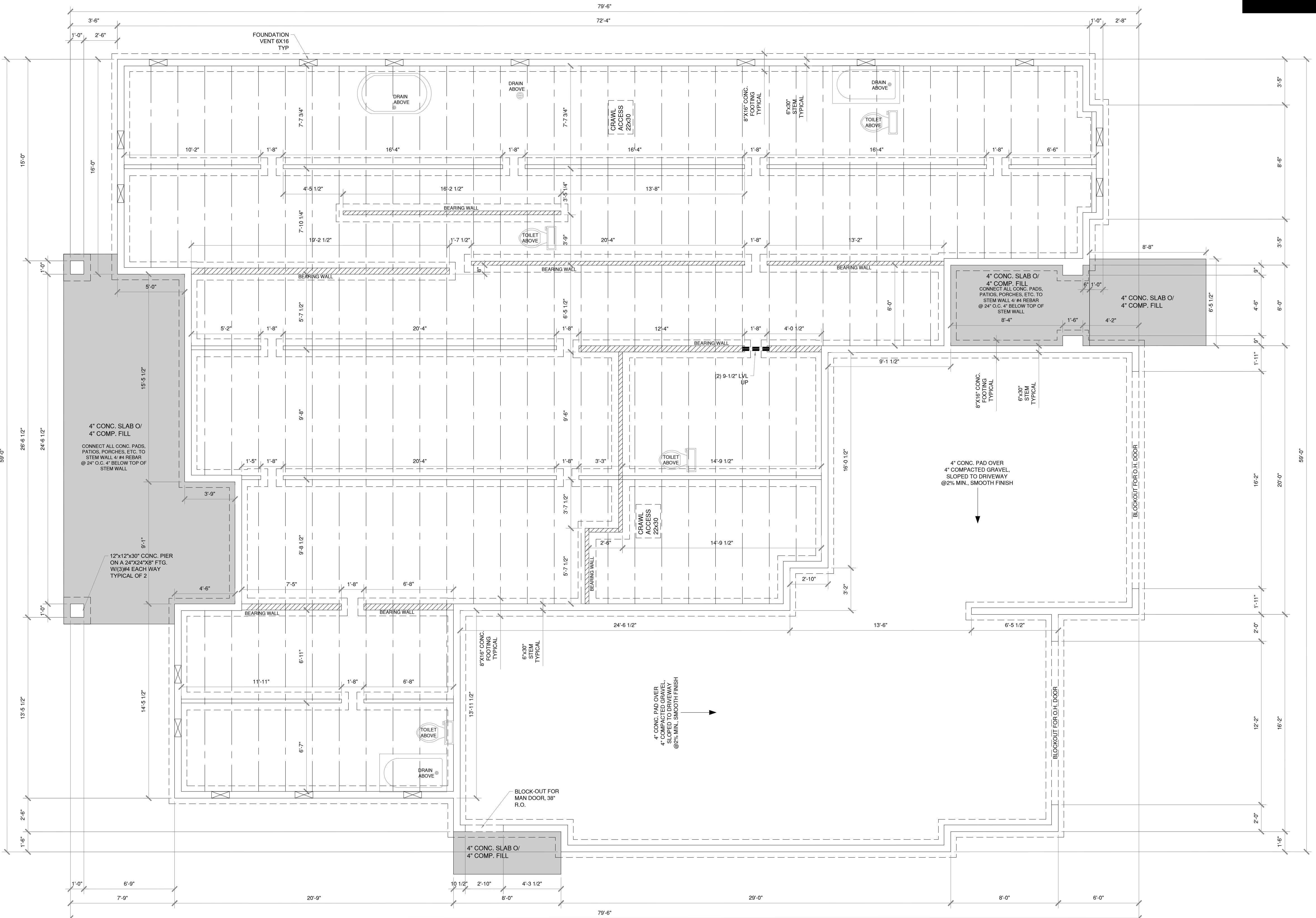
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PAPER SIZE: 36x24		

**CENTERRA ESTATES
LOT 12 BLOCK 03**

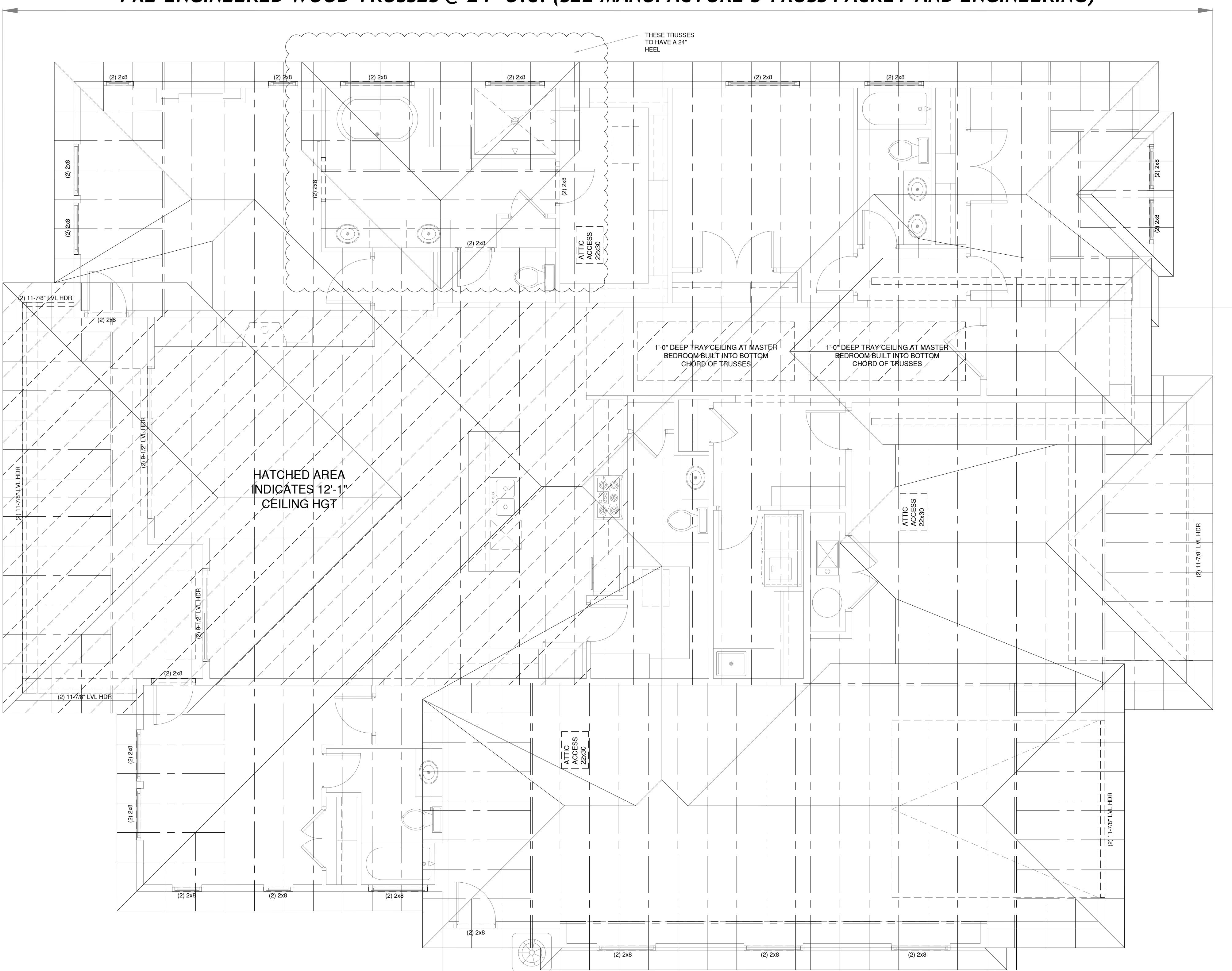
FOUNDATION PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")





PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. (SEE MANUFACTURE'S TRUSS PACKET AND ENGINEERING)



ROOF FRAMING PLAN

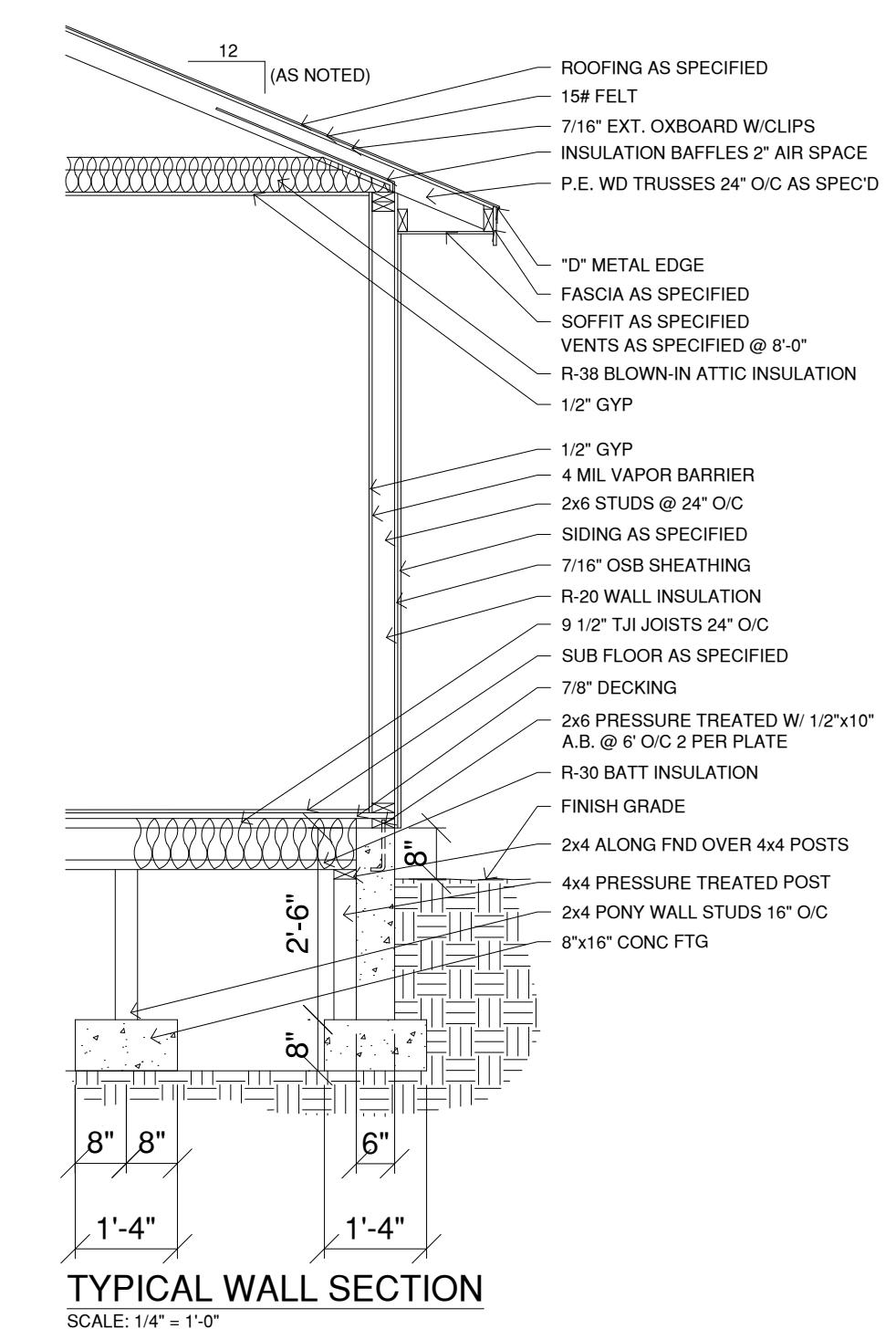
SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

ROOF FRAMING NOTES:

1. BUILDER RESERVES THE RIGHT TO CHANGE PLANS TO MEET CURRENT BUILDING CODES
2. (2)2x8 DF HEADERS @ ALL OPENINGS LESS THAN 5'-0" IN WIDTH U.N.O.
3. (2)2x10 DF HEADERS @ ALL OPENINGS GREATER THAN 5'-0" IN WIDTH U.N.O.
4. REFER TO ELEVATIONS FOR ADDITIONAL INFO
5. PROVIDE ATTIC VENTILATION USING GABLE VENTS AND/OR RIDGE VENTS PER LOCAL CODES
6. PROVIDE SCREENED SOFFIT VENTILATION AT EAVES PER LOCAL CODES
7. ROOF COVERING TO CONSIST OF 30 YEAR ARCHITECTURAL SHINGLES OR BETTER

CENTERRA ESTATES #1
TBD N. GRACIE AVE
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SWAGGART RESIDENCE



TYPICAL WALL SECTION
SCALE: 1/4" = 1'-0"

NOTES:
• PER CODE R703.3 WATER RESISTANCE HOUSE WRAP PER CODE REQUIREMENTS.
• PER CODE R703.8 FLASHING. FLASHING NEEDS TO BE ADDED AROUND WINDOW AND DOOR OPENINGS PER MANUFACTURER SPEC'S.

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CENTERRA ESTATES
LOT 12 BLOCK 03

ROOF FRAMING

S2.0



SWAGGART RESIDENCE

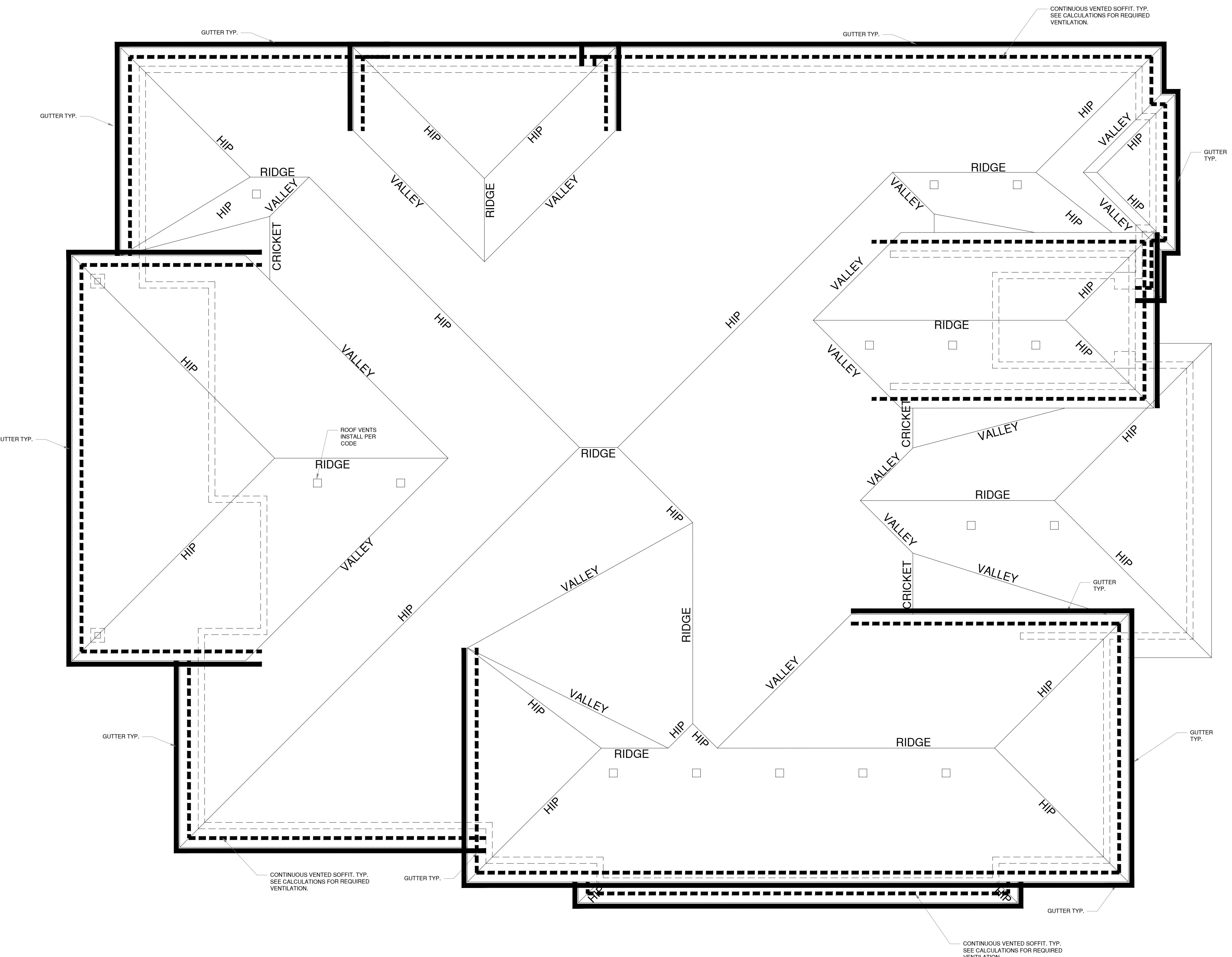
CENTERRA ESTATES #1
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ATTIC VENTILATION CALCULATIONS

AREA 1							
4,220	SQ. FT. /	300	=	14.1	SQ. FT OR	2,025.6	SQ. IN.
LOW VENTING REQ. (INSUL. BAFFLES @ EAVES)	0.60	=	1215.4	HIGH VENTING REQ. (BOX VENTS NEAR RIDGE)	0.40	=	810.2
70	INSULATION BAFFLES			18.7	IN / BAFFLE	1309.0	SQ. IN.
15	BOX VENTS			50	IN / VENT	750	SQ. IN.
1309.0	+	750	=	2059.0	VENTING PROV.	2,025.6	MIN. REQ.

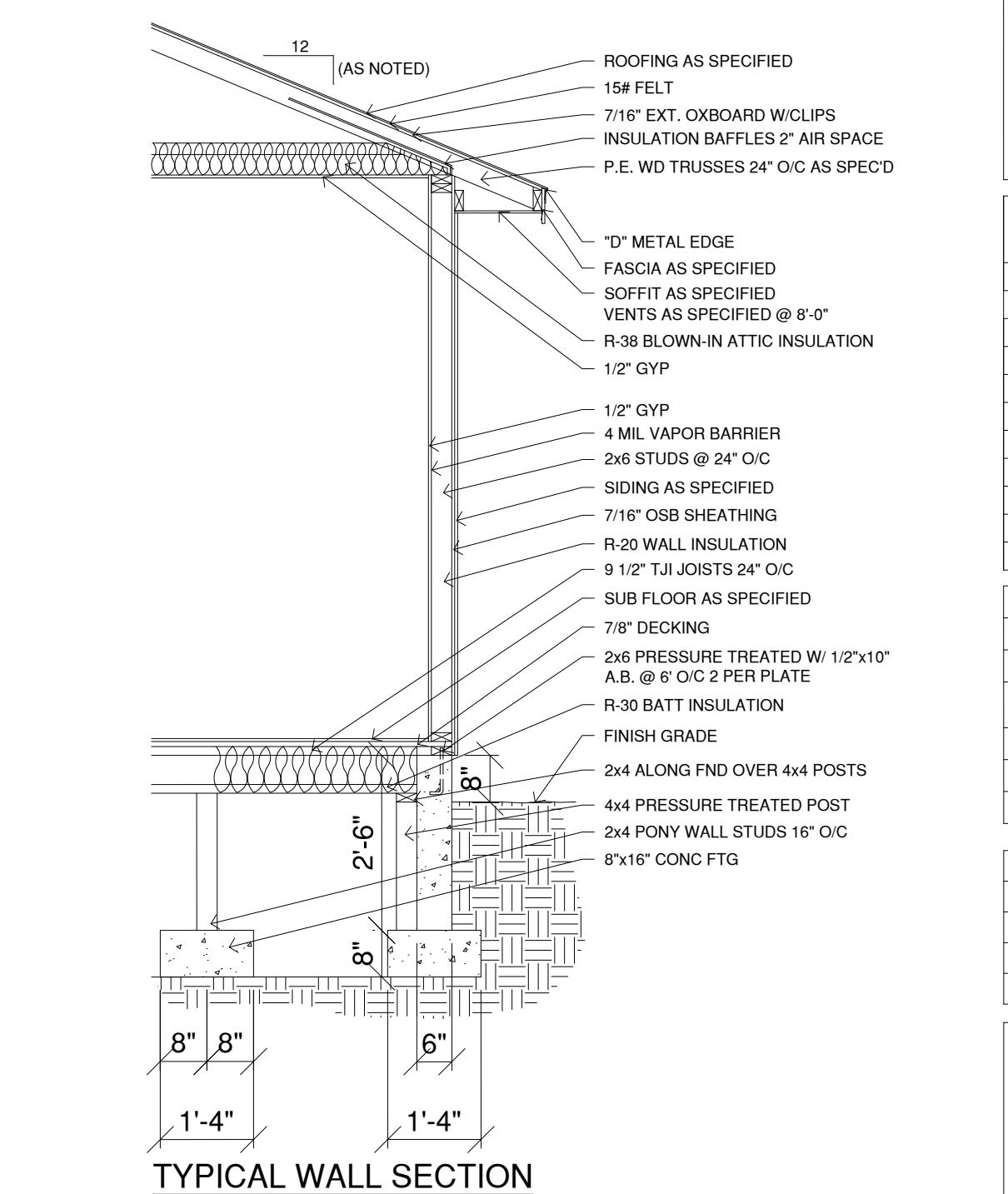
NOTES:

- * ALL SOFFITS TO HAVE CONTINUOUS SOFFIT VENTS INSTALLED
- * ALL INSULATION BAFFLES EVENLY DISTRIBUTED IN ROOF AREAS
- * INSULATION BAFFLES PROVIDE 45 SQ. IN. OF VENTILATION PER BAY.
- * BOX VENTS IN ROOF PROVIDE 50 SQ. IN. OF VENTILATION PER VENT.



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



The diagram illustrates a 'TYPICAL WALL SECTION' with two vertical columns. Each column is labeled '1'-4"' at the top, indicating a width of 1 foot 4 inches. The columns are separated by a central vertical line, representing a wall thickness of 2 feet 8 inches (1'-4" + 1'-4" = 2'-8").

SCALE: 1/4" = 1'-0"

NOTES:

- PER CODE R703.2 WATER RESISTANCE HOUSE WRAP PER CODE REQUIREMENTS.
- PER CODE R703.8 FLASHING, FLASHING NEEDS TO BE ADDED AROUND WINDOW AND DOOR OPENINGS PER MANUFACTURER SPEC'S.

ROOF PLAN

S3.0



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SWAGGAR / RESIDENCE

CENTERRA ESTATES #1
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EAGLE, IDAHO

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UNFINISHED AREA: 0 SF

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CENTERRA ESTATES

LOT 12 BLOCK 03

STRUCTURAL DETAILS SD1.0

