

## GENERAL NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

ALL SETBACKS AND EASEMENTS TO BE VERIFIED BY THE BUILDING INSPECTOR PRIOR TO POURING CONCRETE.

REPORT ANY ERROR OR OMISSIONS TO BUILDING CONTRACTOR PRIOR TO REQUESTING FINAL INSPECTION.

ALL PUBLIC UTILITIES ARE AVAILABLE

CONTRACTOR SHALL INSTALL HOUSE NUMBERS IN ACCORDANCE WITH LOCAL CODE AND IRC PRIOR TO REQUESTING FINAL INSPECTIONS.

SLOPE GRADE AWAY FROM HOUSE TO BE MIN 5% FOR 10' IN EACH DIRECTION AND 2% THEREAFTER WHERE POSSIBLE

DESIGN CRITERIA:  
CODES: IRC 2018, IECC 2018, IMC 2012, ISPC 2009, NEC 2017  
FROST DEPTH: 24"  
SEISMIC ZONE: C  
CLIMATE ZONE: 5  
BASIC WIND SPEED: 115 MPH  
SOIL BEARING CAPACITY: 1500 PSF  
ROOF LOADS: 25 PSF LIVE LOAD (SNOW) 17 PSF DEAD LOAD  
FLOOR LOADS: 40 PSF LIVE, 17 PSF DEAD

## LEGAL DESCRIPTION:

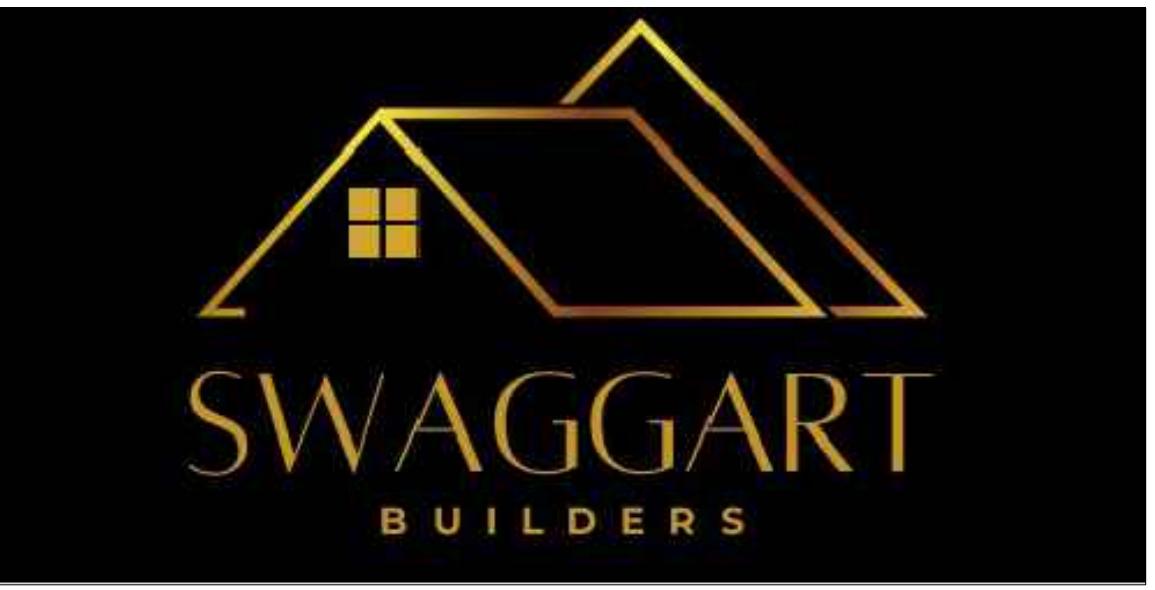
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TBD CIRRUS VIEW CT. CALDWELL, IDAHO  
TIMBERSTONE SUB SUB #1 LOT 04 BLOCK 01  
Caldwell, CANYON COUNTY, IDAHO



# DRAWING INDEX

- A0.0 - COVER SHEET
- A0.1 - SITE PLAN
- A1.0 - MAIN FLOOR PLAN
- A1.1 - MAIN FLOOR WALL BRACING
- A1.2 - SHEAR DETAILS
- A2.0 - FRONT AND REAR ELEVATIONS
- A2.1 - SIDE ELEVATIONS
- E1.0 - MAIN ELECTRICAL PLAN
- S1.0 - FOUNDATION PLAN
- S2.0 - ROOF FRAMING
- S3.0 - ROOF PLAN
- SD1.0 - STRUCTURAL DETAILS



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# SWAGGART BUILDERS

**TIMBERSTONE SUBDIVISION  
TBD CIRRUS VIEW CT  
CANYON COUNTY, IDAHO**

## REVISION SCHEDULE

FLOOR AREA: 2,977 SF	
OND FLOOR AREA: 0 SF	
INISHED AREA: 0 SF	
TAL CONDITIONED AREA:	2,977 SF
CH / PATIO AREA: 625 SF	
AGE AREA: 1,281 SF	
AL AREA:	4,883 SF
E MODEL:	SWAGGART 2977 MODEL

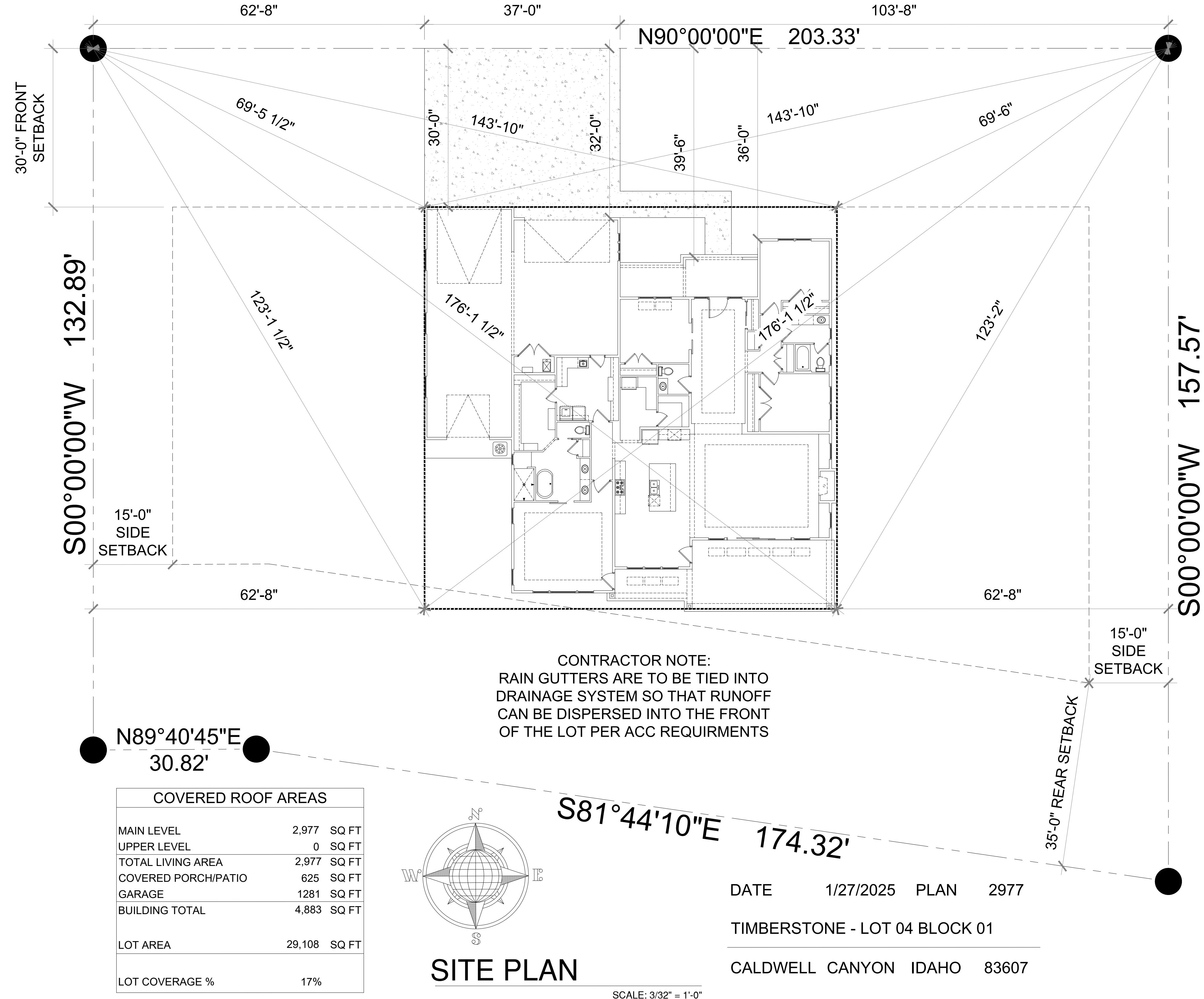
# TIMBERSTONE SUB

## LOT 04 BLOCK 01

## COVER SHEET

# Ao.0

# CIRRUS VIEW COURT



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TBD CIRRUS VIEW CT  
CANYON COUNTY, IDAHO

REVISION SCHEDULE		
#	DESCRIPTION	DATE
1		

MAIN FLOOR AREA: 2,977 SF  
SECOND FLOOR AREA: 0 SF  
UNFINISHED AREA: 0 SF  
TOTAL CONDITIONED AREA: 2,977 SF  
PORCH / PATIO AREA: 625 SF  
GARAGE AREA: 1,281 SF  
TOTAL AREA: 4,883 SF

BASE MODEL: SWAGGART 2977 MODEL  
DRAWN BY: LS  
REVISION COPY: #2  
REVISION DATE: 01/27/2025  
PAPER SIZE: 36X24

TIMBERSTONE SUB  
LOT 04 BLOCK 01

SITE PLAN

A0.1



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### REVISION SCHEDULE

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SECOND FLOOR AREA: 0 SF  
UNFINISHED AREA: 0 SF  
TOTAL CONDITIONED AREA: 2,977 SF  
02/11/2025  
Firm License Number: C2269  
VSE Project Number: U7008-0002-251  
STRUCTURAL LATERAL  
AND RV GARAGE STUD  
CALCS ONLY

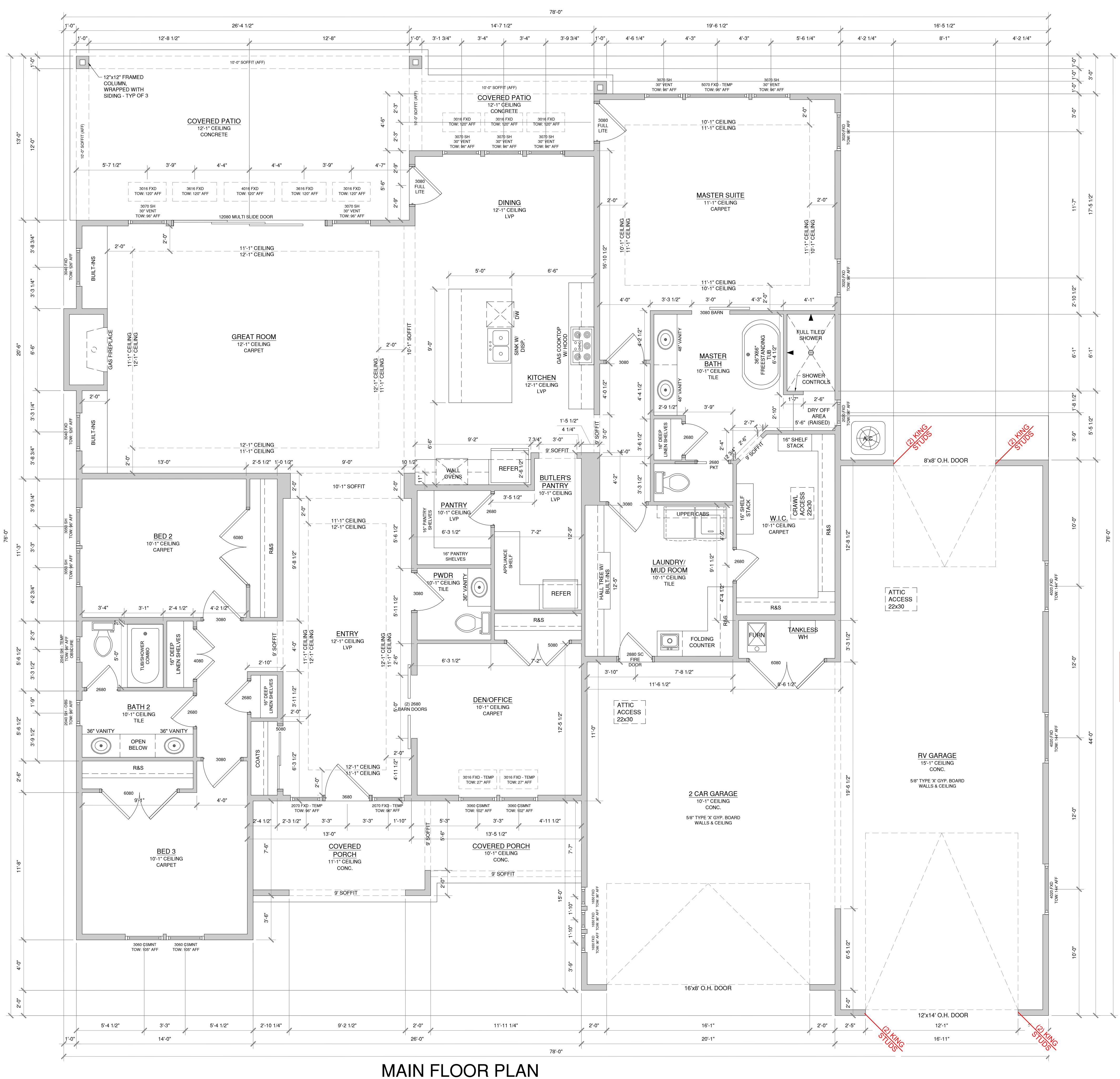
APPROXIMATE SQUARE  
FOOTAGE

MAIN LEVEL	2,977	SQ FT
UPPER LEVEL	0	SQ FT
TOTAL LIVING AREA	2977	SQ FT
COVERED PORCH/PATIO	625	SQ FT
GARAGE	1281	SQ FT
BUILDING TOTAL	4,883	SQ FT

TIMBERSTONE SUB  
LOT 04 BLOCK 01

MAIN FLOOR PLAN

A1.0



NOTE: ALL 15'-0" TALL STUDS TO BE  
DFL#2. CONTRACTOR TO NOTIFY  
ENGINEER IF A DIFFERENT GRADE IS  
REQUESTED. EXTERIOR STUDS TO BE  
2x6 @ 16" OC. ALL OPENINGS IN RV  
GARAGE TO HAVE (1) KING STUD UNO.



1478 W. Ullock Rd. Ste. 110 / Meridian, ID 83646  
(208) 996-0301 / www.vectorse.com

02/11/2025

Firm License Number: C2269

VSE Project Number: U7008-0002-251

STRUCTURAL LATERAL

AND RV GARAGE STUD

CALCS ONLY

4,883 SF

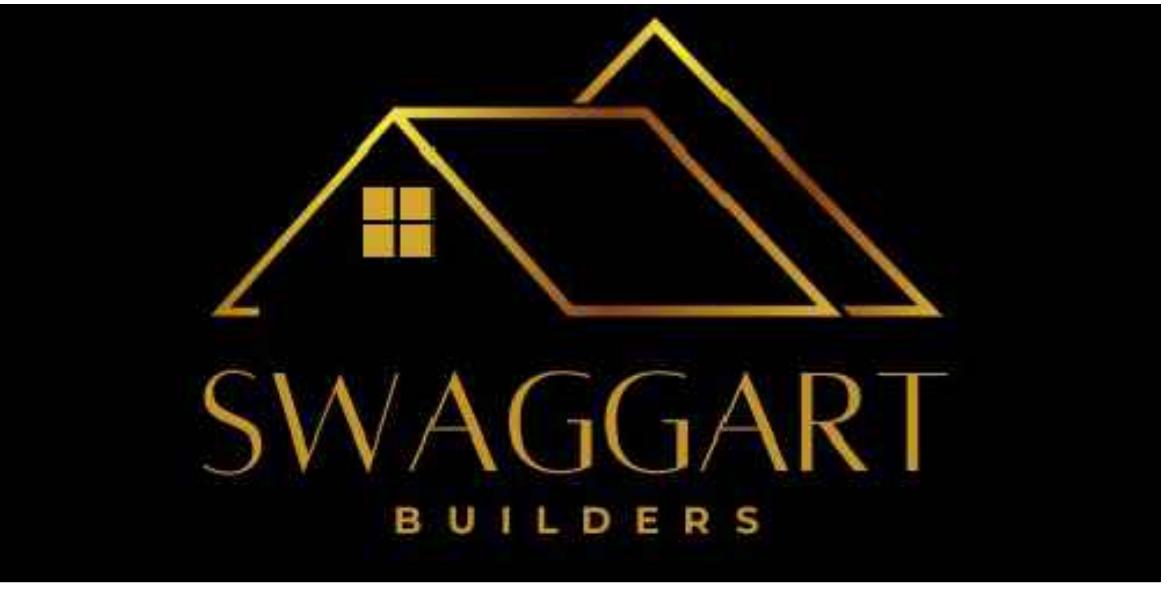
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CANYON COUNTY, IDAHO

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VECTOR  
ENGINEERS

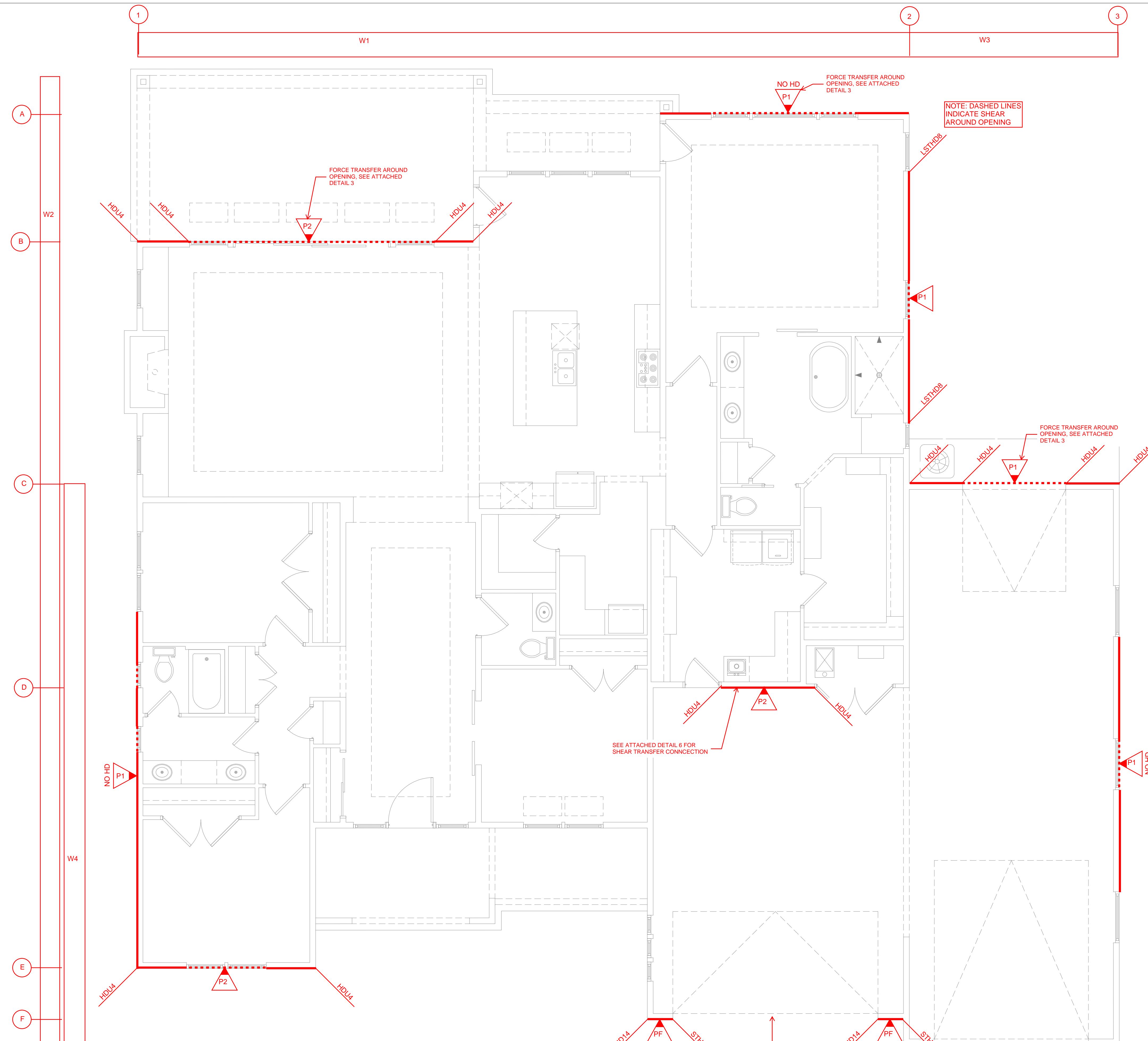
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TIMBERSTONE SUB  
LOT 04 BLOCK 01

WALL BRACING

A1.1



WALL BRACING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

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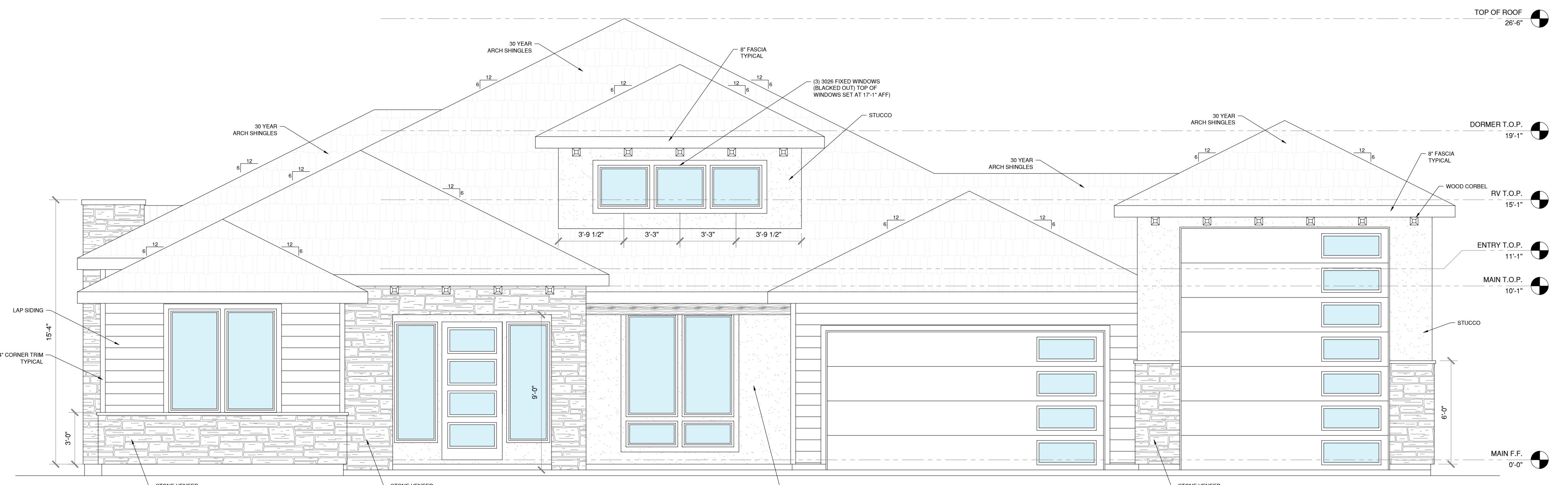


SWAGGART  
BUILDERS

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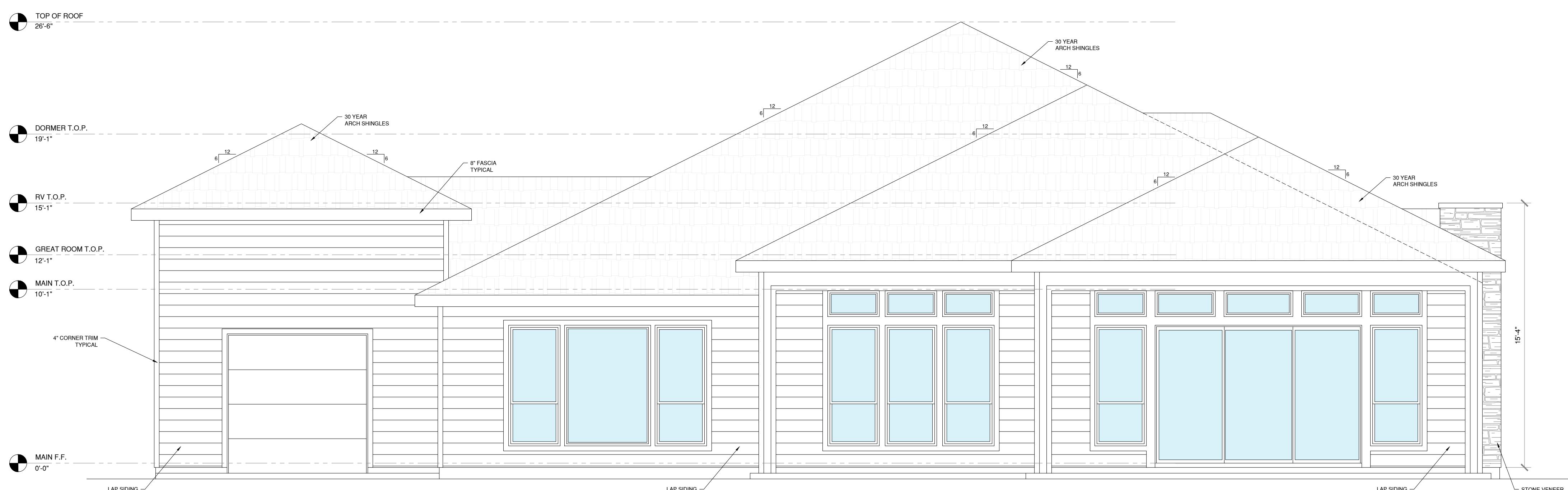
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FRONT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



REAR ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

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TIMBERSTONE SUB  
LOT 04 BLOCK 01

ELEVATIONS

A2.0

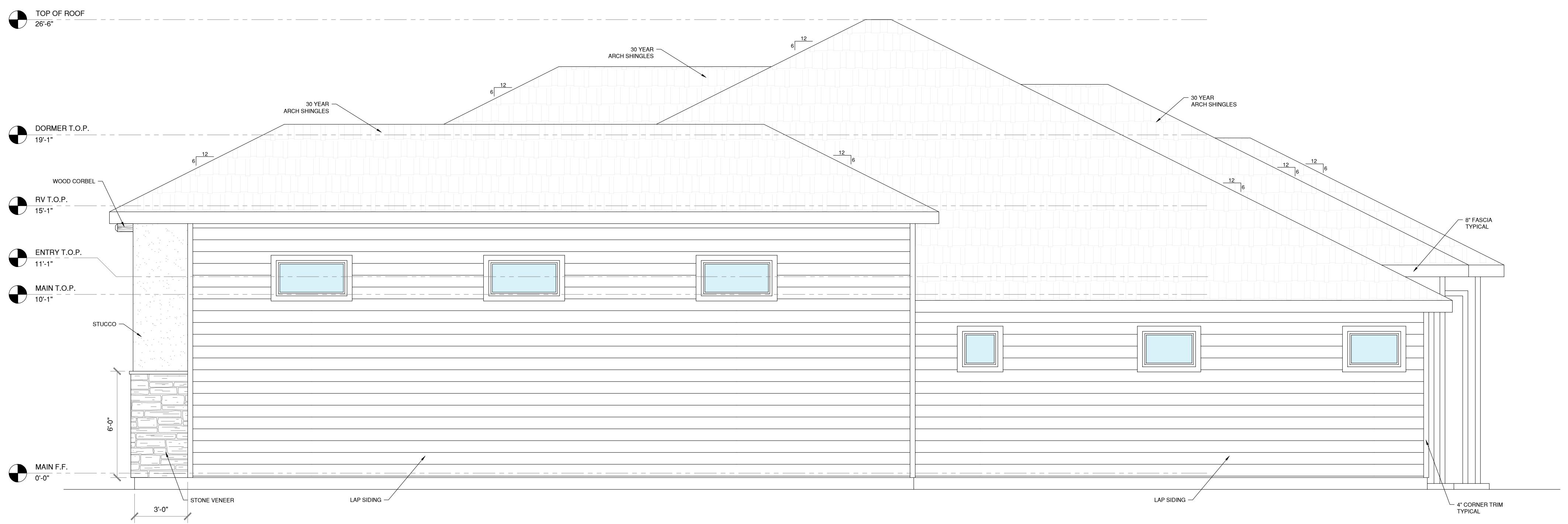


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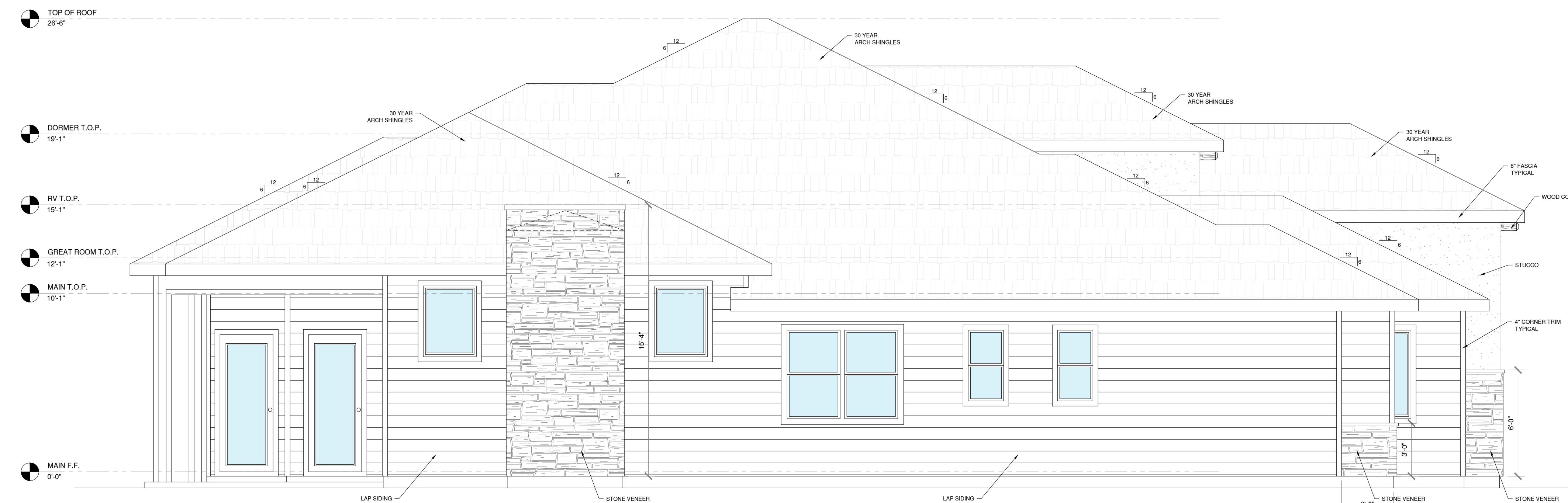
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TBD CIRRUS VIEW CT  
CANYON COUNTY, IDAHO

**SWAGGART BUILDERS**



**RIGHT ELEVATION**

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



**LEFT ELEVATION**

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**TIMBERSTONE SUB**  
LOT 04 BLOCK 01

**ELEVATIONS**

**A2.1**



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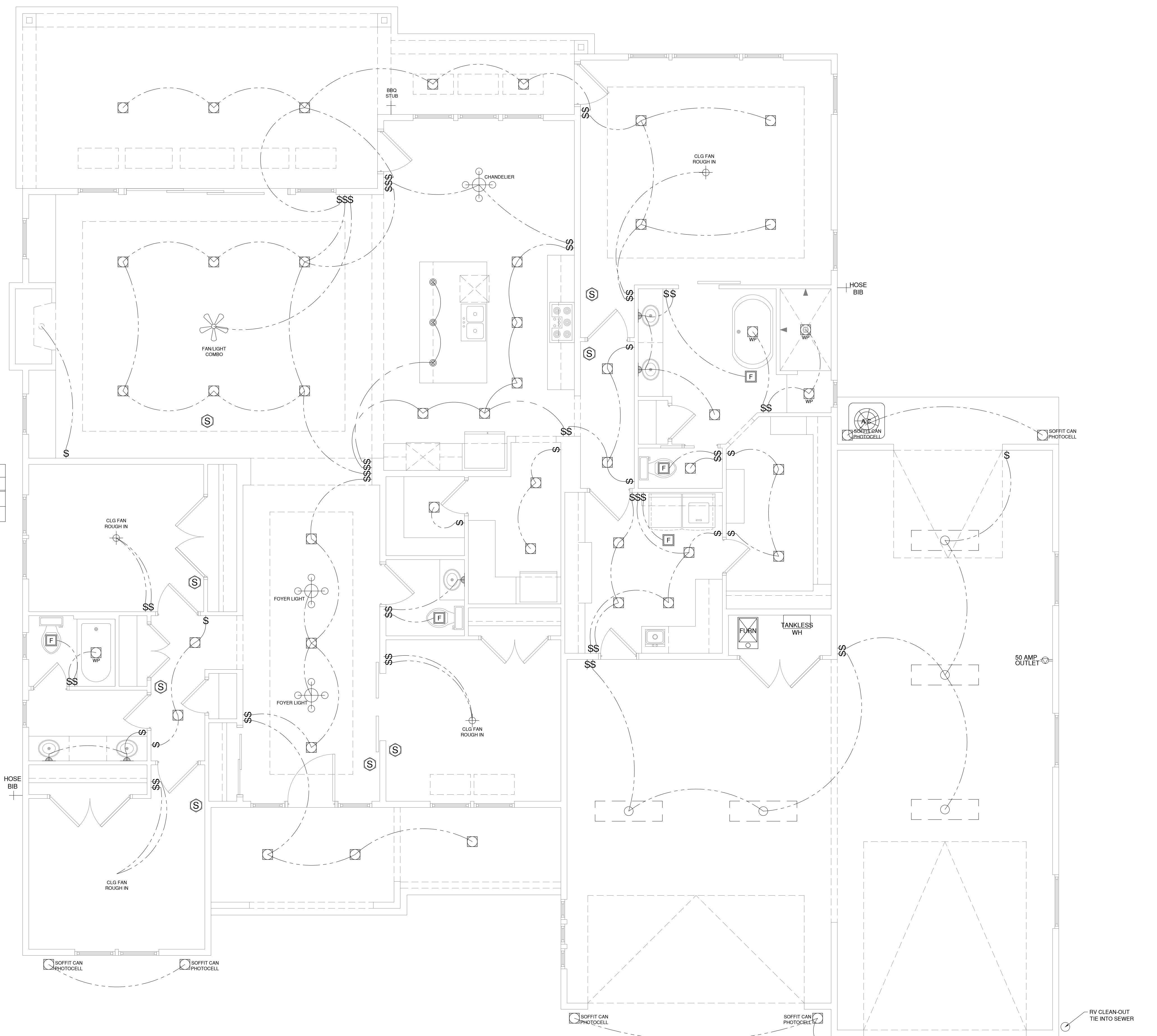
## REVISION SCHEDULE

# TIMBERSTONE SUB

## LOT 04 BLOCK 01

# ELECTRICAL PLAN

## E1.0



# ELECTRICAL PLAN

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SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

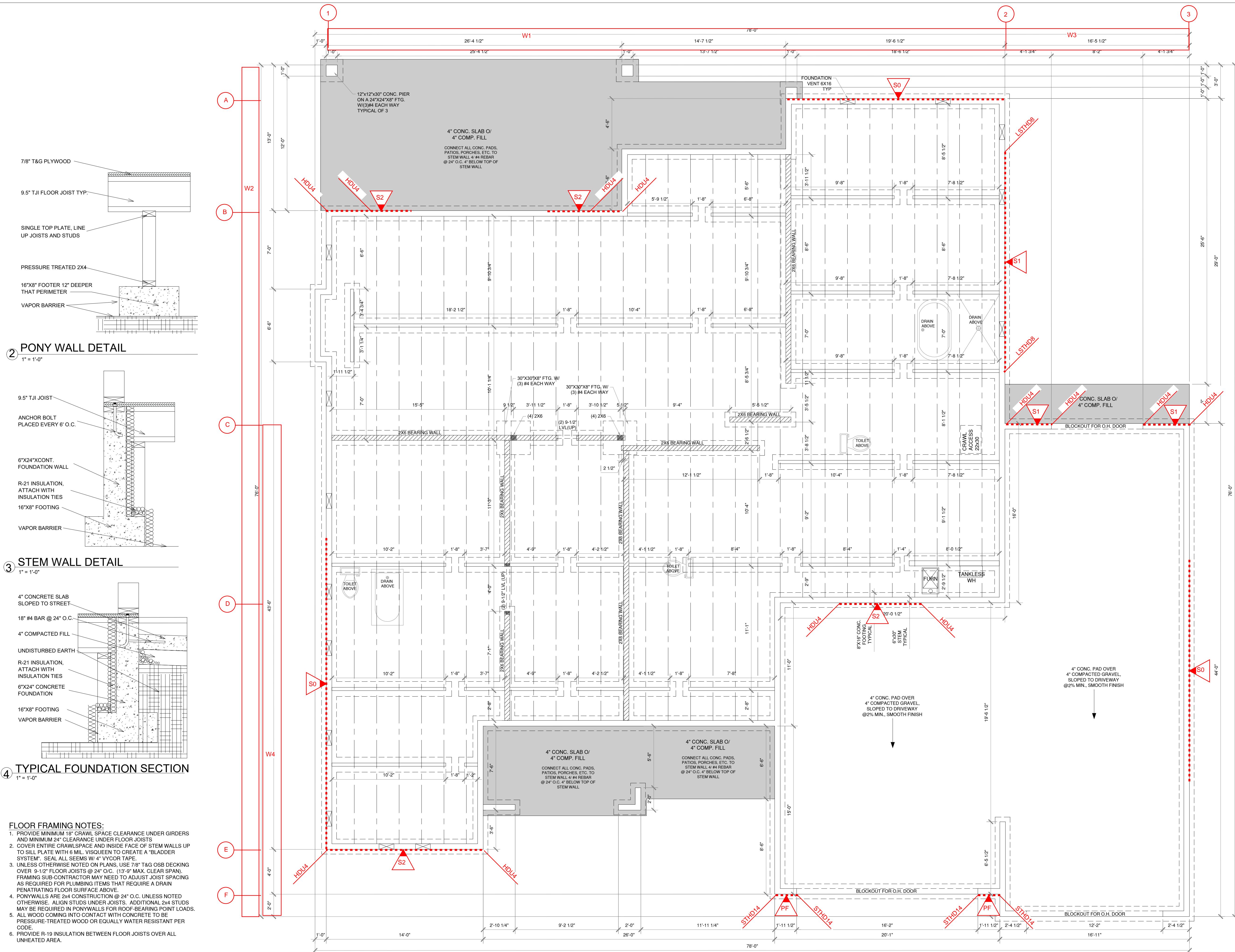


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## SWAGGART BUILDERS

### TIMBERSTONE SUBDIVISION TBD CIRRUS VIEW CT CANYON COUNTY, IDAHO



FOUNDATION PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

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02/11/2025

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STRUCTURAL LATERAL  
AND RV GARAGE STUD  
CALCS ONLY

TIMBERSTONE SUB  
LOT 04 BLOCK 01

FOUNDATION PLAN

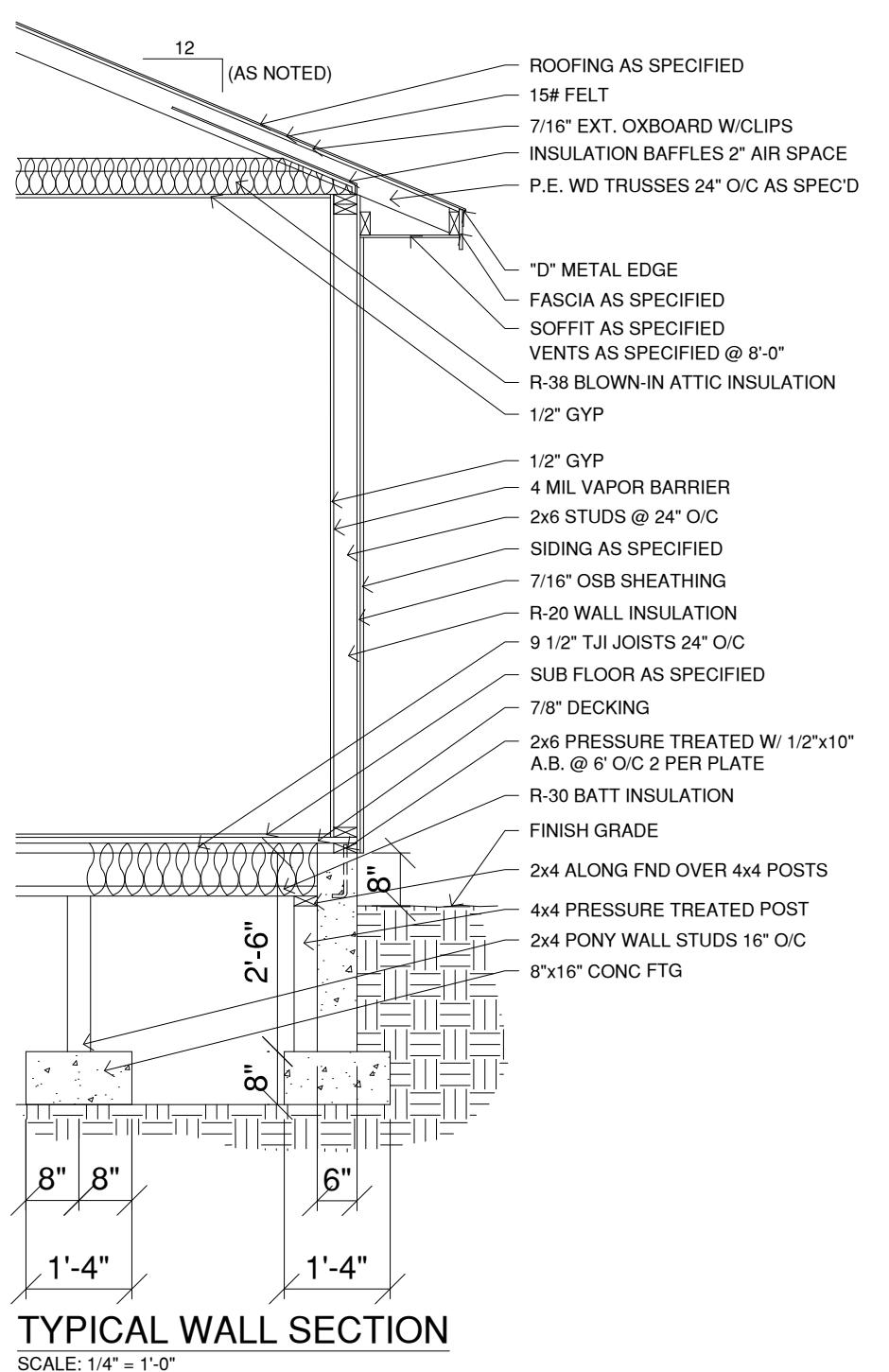
S1.0



PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. (SEE MANUFACTURE'S TRUSS PACKET AND ENGINEERING)

ROOF FRAMING NOTES:

1. BUILDER RESERVES THE RIGHT TO CHANGE PLANS TO MEET CURRENT BUILDING CODES
2. (2)2x8 DF HEADERS @ ALL OPENINGS LESS THAN 5'-0" IN WIDTH U.N.O.
3. (2)2x10 DF HEADERS @ ALL OPENINGS GREATER THAN 5'-0" IN WIDTH U.N.O.
4. REFER TO ELEVATIONS FOR ADDITIONAL INFO
5. PROVIDE ATTIC VENTILATION USING GABLE VENTS AND/OR RIDGE VENTS PER LOCAL CODES
6. PROVIDE SCREENED SOFFIT VENTILATION AT EAVES PER LOCAL CODES
7. ROOF COVERING TO CONSIST OF 30 YEAR ARCHITECTURAL SHINGLES OR BETTER



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TIMBERSTONE SUB  
LOT 04 BLOCK 01

ROOF FRAMING  
S2.0



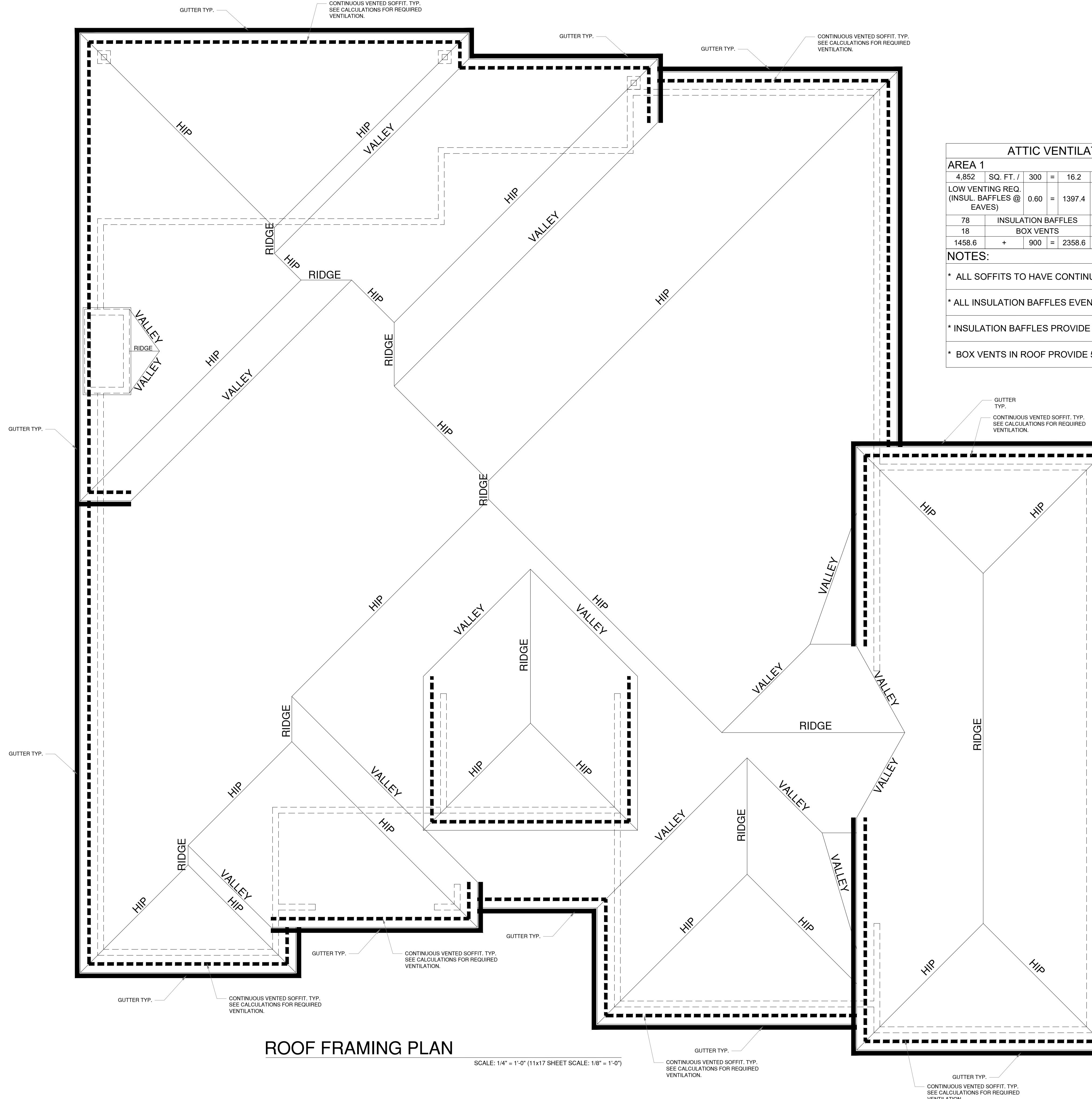
# SWAGGART BUILDERS

**TIMBERSTONE SUBDIVISION  
TBD CIRRUS VIEW CT  
CANYON COUNTY, IDAHO**

# BERSTONE SUB T 04 BLOCK 01

# ROOF PLAN

S3.0



# ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

GUTTER TYP. —  
NUOUS VENTED SOFFIT. TYP.  
CALCULATIONS FOR REQUIRED  
LATURATION.

CONTINUOUS VENTED SOFFIT. TYPE  
SEE CALCULATIONS FOR REQUIRED  
VENTILATION.

MAIN FLOOR AREA: 2,977 SF	
SECOND FLOOR AREA: 0 SF	
UNFINISHED AREA: 0 SF	
<b>TOTAL CONDITIONED AREA:</b>	<b>2,977 SF</b>
PORCH / PATIO AREA: 625 SF	

TOTAL AREA:	4,883 SF
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# TIMBERSTONE SUB

## LOT 04 BLOCK 01

# ROOF PLAN



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CANYON COUNTY, IDAHO

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# TIMBERSTONE SUB

## LOT 04 BLOCK 01

# STRUCTURAL DETAILS

## SD1.0

