

GENERAL NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.
ALL SETBACKS AND EASEMENTS TO BE VERIFIED BY THE BUILDING INSPECTOR PRIOR TO POURING CONCRETE.
REPORT ANY ERROR OR OMISSIONS TO BUILDING CONTRACTOR PRIOR TO REQUESTING FINAL INSPECTION.
ALL PUBLIC UTILITIES ARE AVAILABLE
CONTRACTOR SHALL INSTALL HOUSE NUMBERS IN ACCORDANCE WITH LOCAL CODE AND IRC PRIOR TO REQUESTING FINAL INSPECTIONS.
SLOPE GRADE AWAY FROM HOUSE TO BE MIN 5% FOR 10' IN EACH DIRECTION AND 2% THEREAFTER WHERE POSSIBLE

DESIGN CRITERIA:
CODES: IRC 2018, IECC 2018, IMC 2012, ISPC 2009, NEC 2017
FROST DEPTH: 24"
SEISMIC ZONE: C
CLIMATE ZONE: 5
BASIC WIND SPEED: 115 MPH
SOIL BEARING CAPACITY: 1500 PSF
ROOF LOADS: 25 PSF LIVE LOAD (SNOW) 17 PSF DEAD LOAD
FLOOR LOADS: 40 PSF LIVE, 17 PSF DEAD

LEGAL DESCRIPTION:

TBD CIRRUS VIEW CT. CALDWELL, IDAHO
TIMBERSTONE SUB SUB #1 LOT 04 BLOCK 01
CALDWELL, CANYON COUNTY, IDAHO



DRAWING INDEX

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TIMBERSTONE SUBDIVISION
TBD CIRRUS VIEW CT
CANYON COUNTY, IDAHO

REVISION SCHEDULE

#	DESCRIPTION	DATE
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MAIN FLOOR AREA: 2,977 SF	
SECOND FLOOR AREA: 0 SF	
UNFINISHED AREA: 0 SF	
TOTAL CONDITIONED AREA:	2,977 SF
PORCH / PATIO AREA: 625 SF	
GARAGE AREA: 1,281 SF	
TOTAL AREA:	4,883 SF

BASE MODEL:	SWAGGART 2977 MODEL
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TIMBERSTONE SUB
LOT 04 BLOCK 01

COVER SHEET

A0.0



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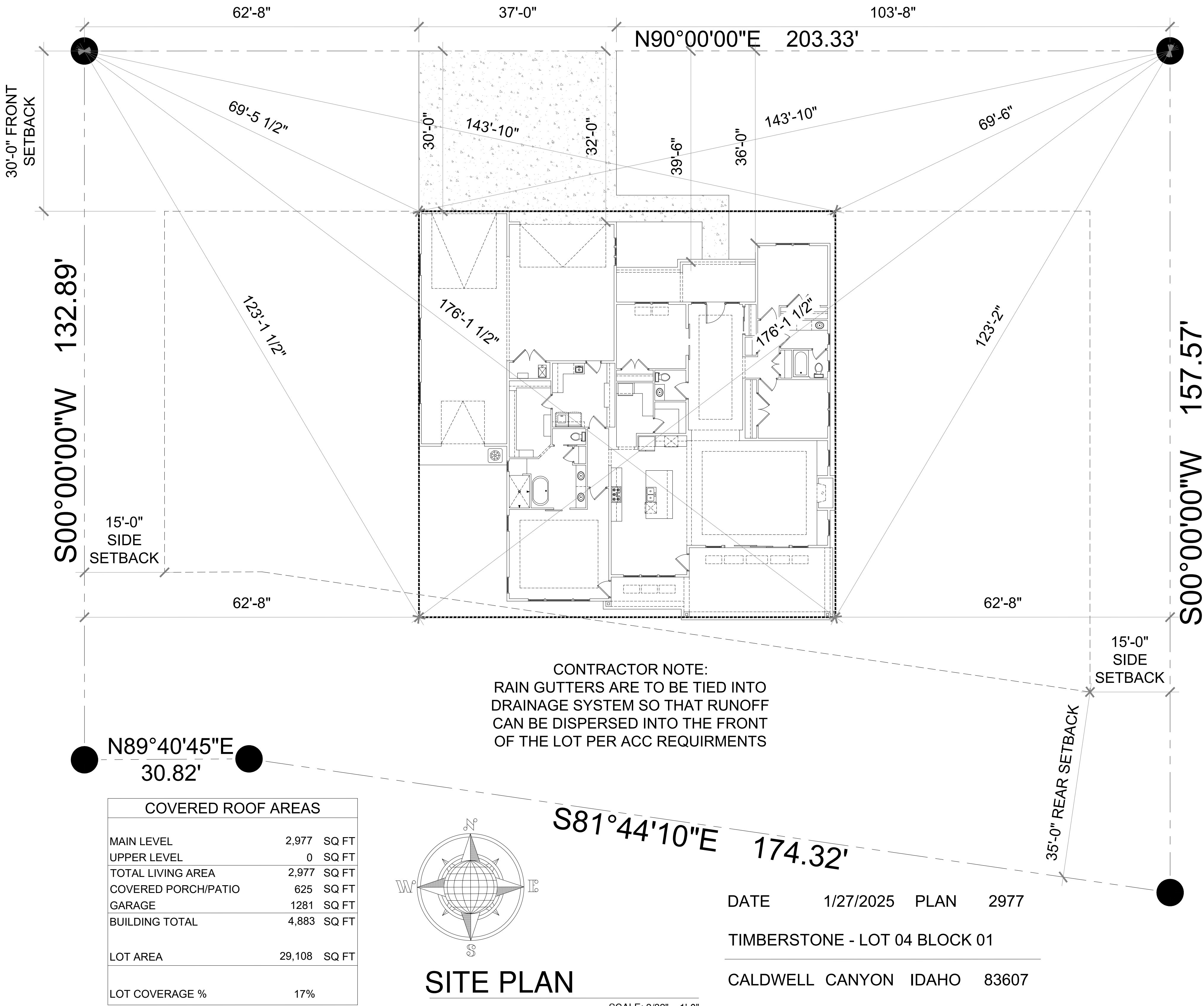
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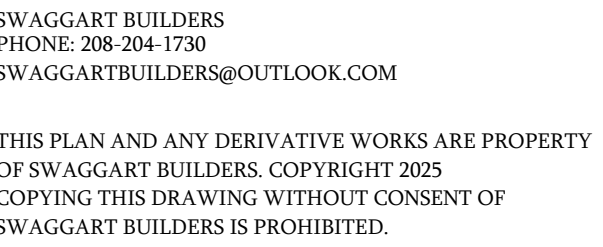
TIMBERSTONE SUB
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SITE PLAN

A0.1

CIRRUS VIEW COURT





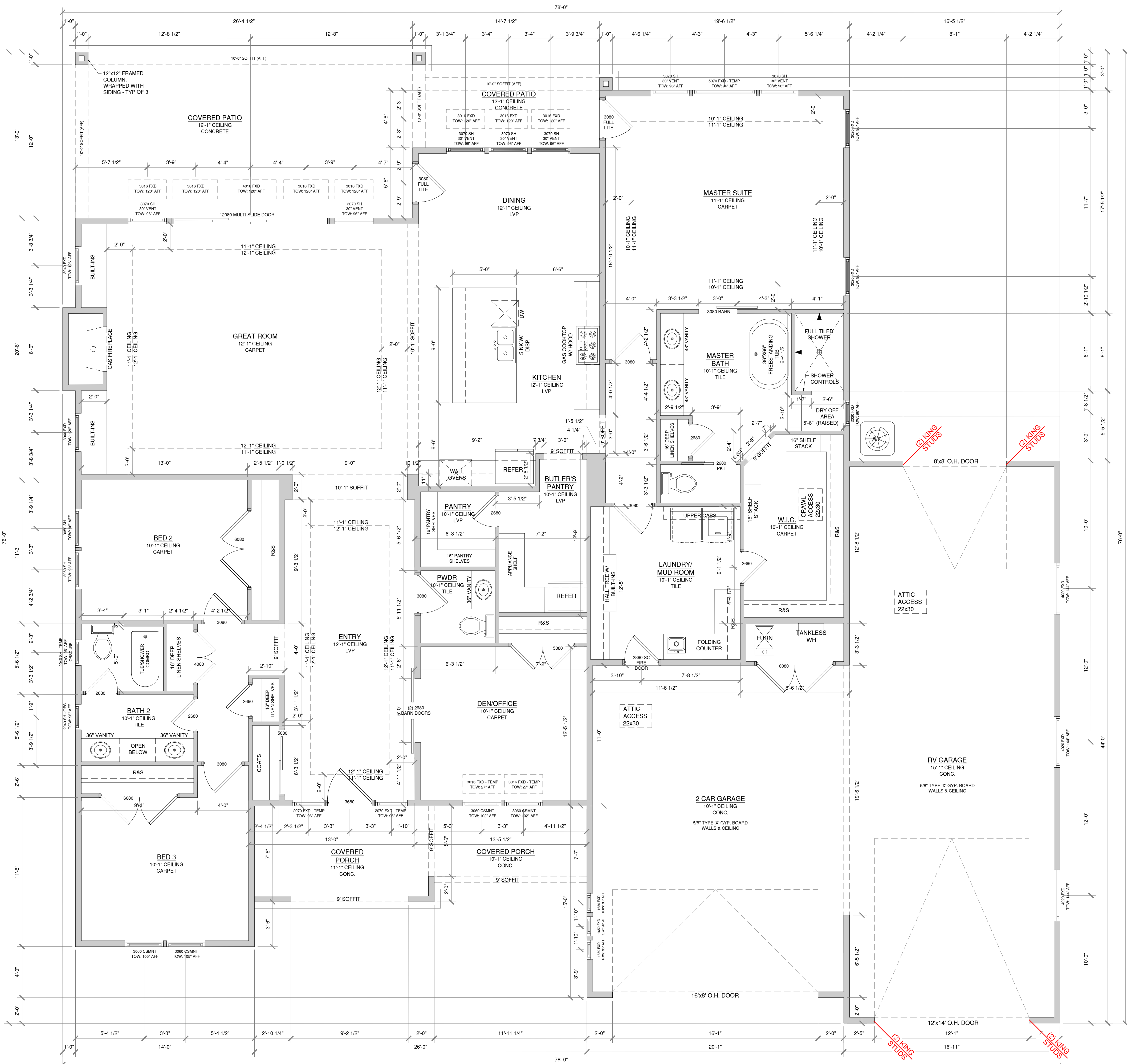
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MAIN FLOOR PLAN

A1.0

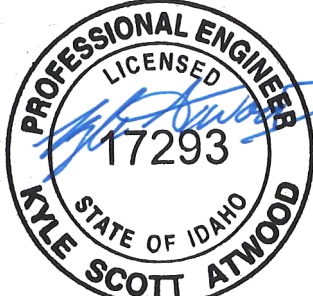


MAIN FLOOR PLAN

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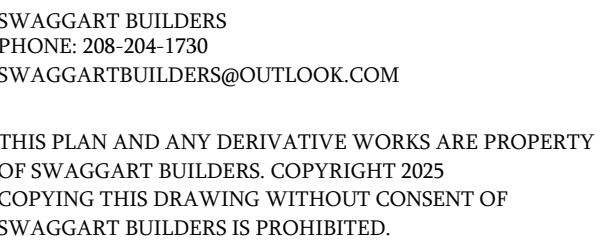
APPROXIMATE SQUARE
FOOTAGE

MAIN LEVEL	2,977	SQ FT
UPPER LEVEL	0	SQ FT
TOTAL LIVING AREA	2977	SQ FT
COVERED PORCH/PATIO	625	SQ FT
GARAGE	1281	SQ FT
BUILDING TOTAL	4,883	SQ FT



02/11/2025
Firm License Number: C2269
VSE Project Number: U7008-0002-251
**STRUCTURAL LATERAL
AND RV GARAGE STUD
CALCS ONLY**

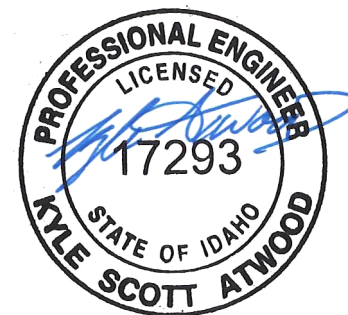
NOTE: ALL 15'-0" TALL STUDS TO BE
DFL#2. CONTRACTOR TO NOTIFY
ENGINEER IF A DIFFERENT GRADE IS
REQUESTED. EXTERIOR STUDS TO BE
6x6 @ 16" OC. ALL OPENINGS IN RV
GARAGE TO HAVE (1) KING STUD UNO.



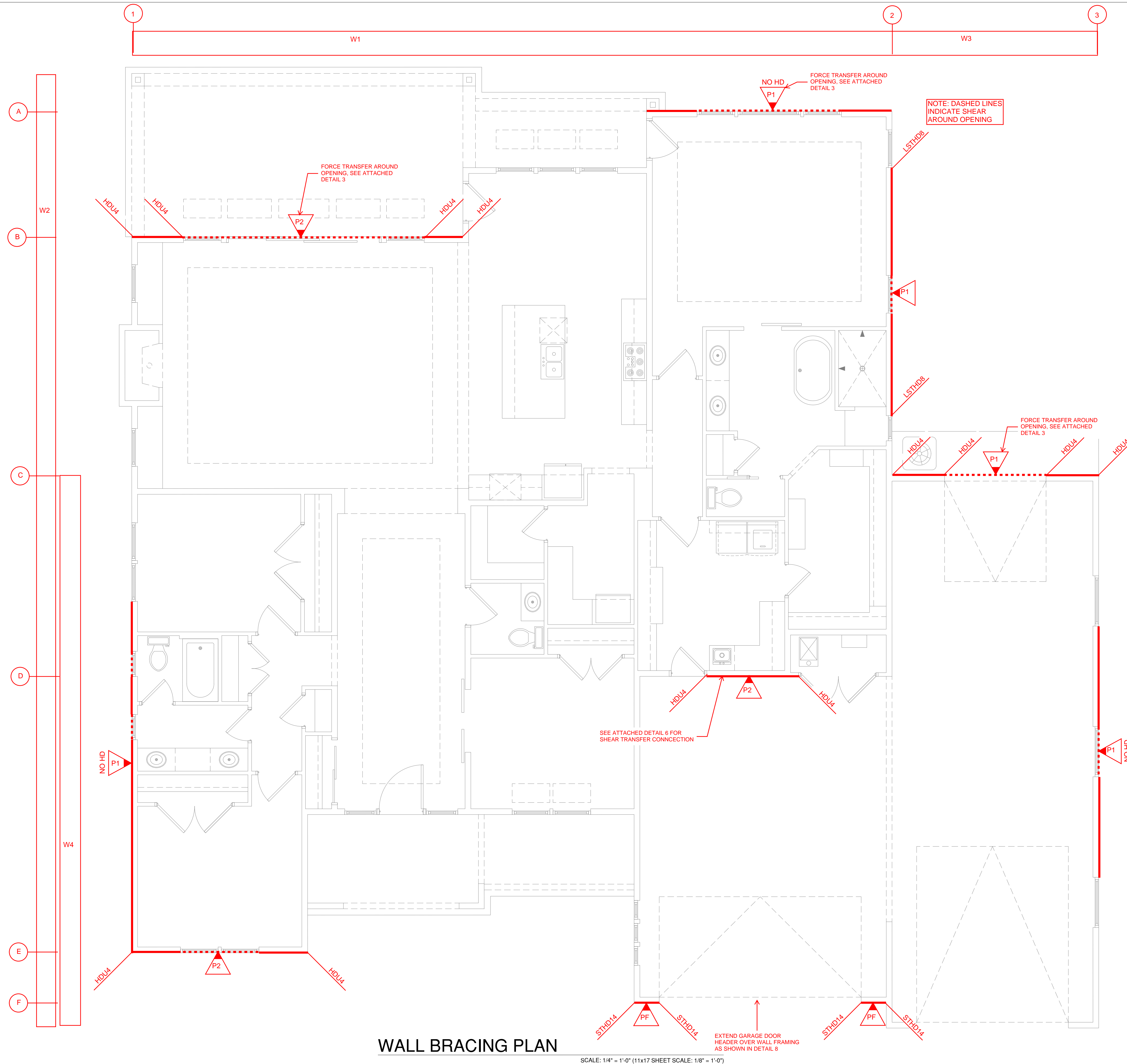
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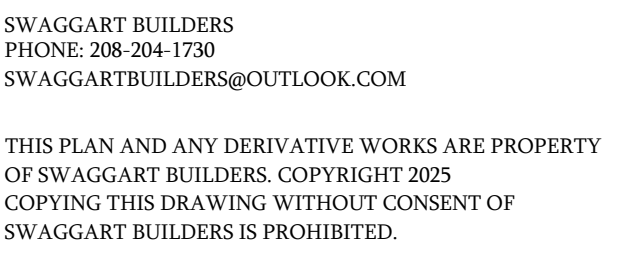


A1.1



WALL BRACING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



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SHEAR DETAILS

A1.2



NOTES: 1) SILL ANCHOR SPACING IS UNDER SHEAR WALLS, SPACE ALL OTHER EXTERIOR SILL ANCHORS @ 4'-0" O.C.
2) IF SHEARWALL REQUIRES HOLDOWNS, USE WOOD MEMBER FROM HOLDOWN SCHEDULE IN PLACE OF END MEMBERS
3) FULL HEIGHT TRUSS BLOCKING REQUIRED AT ALL SHEARWALLS WITH TRUSS HEEL HEIGHTS OVER 9.25" TALL. NAIL ROOF DIAPHRAGM TO EACH BLOCKING WITH 8d AT 6" O.C., TOE NAIL EACH BLOCKING TO TOP PLATES WITH (4) 16d COMMON NAILS.
4) USE "SIMPSON" H2.5A AT EACH TRUSS TO TOP PLATES/BEAM U.N.O.
5) ALL NAILS COMMON NAILS UNLESS NOTED OTHERWISE

NOTES: (1) #4 HORIZ. REBAR REQUIRED AT TOP AND BOTTOM OF STEMWALL AT ALL HOLDDOWNS (3" CLEAR), MINIMUM REBAR LENGTH = 60", CENTER REBAR AT HOLDDOWN, AT CORNERS BEND REBAR AT CENTER OF 60" LENGTH, EXTEND REBAR 30" EACH WAY.

(2) AT SIMPSON HDU11-SDS2.5 HOLDDOWNS USE (2) #4L VERTICAL BARS, (1) AT EACH HOLDDOWN, HOOK VERTICAL #4L BARS INTO FOOTING.



HOLDOWN SCHEDULE			
MARK #	TYPE	WOOD MEMBER	COMMENTS
1	"SIMPSON" STD14	(2) 2x	
2	"SIMPSON" HDU4-SDS2.5	(2) 2x	USE 5/8" J-BOLT WITH 12" EMBEDMENT



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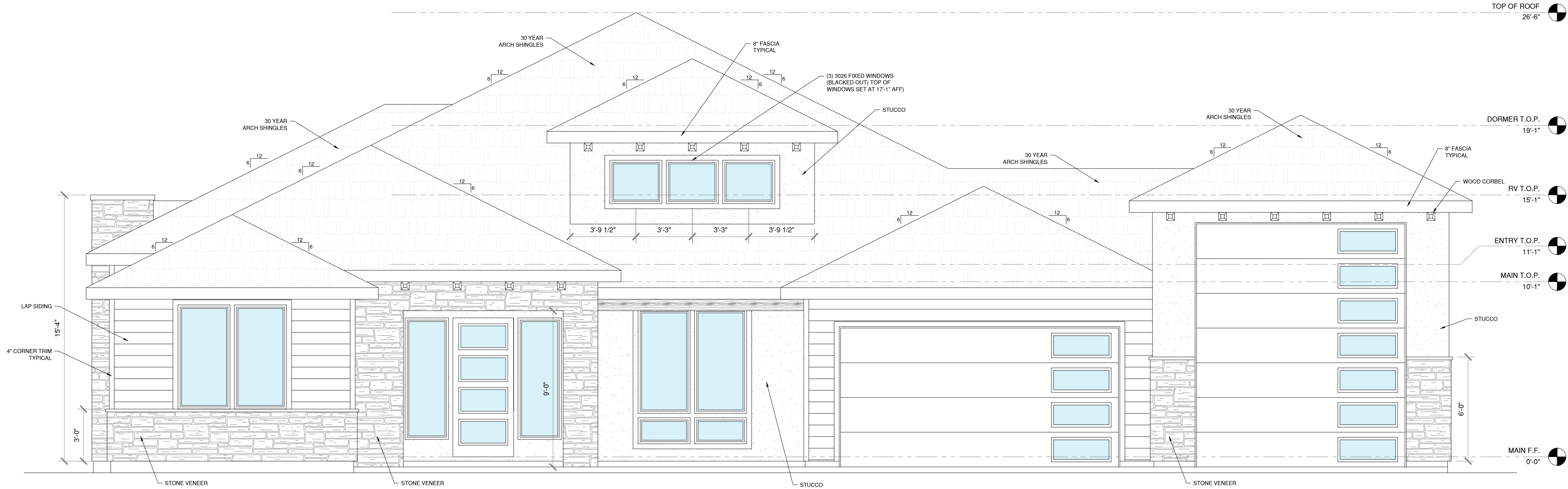
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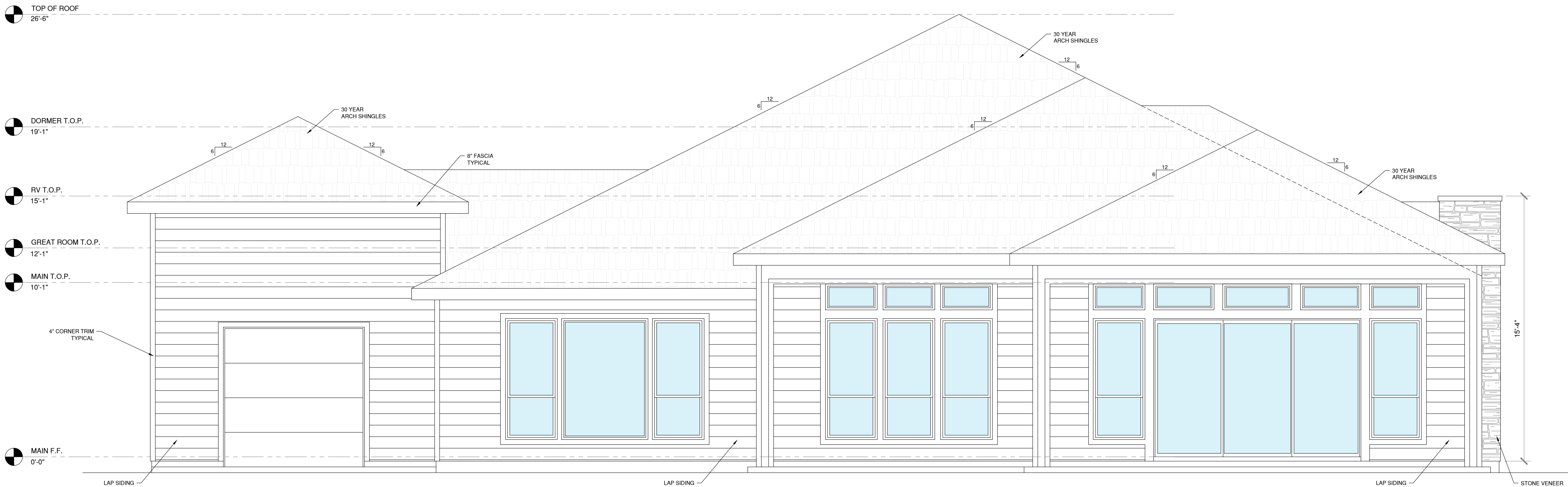
ELEVATIONS

A2.0



FRONT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



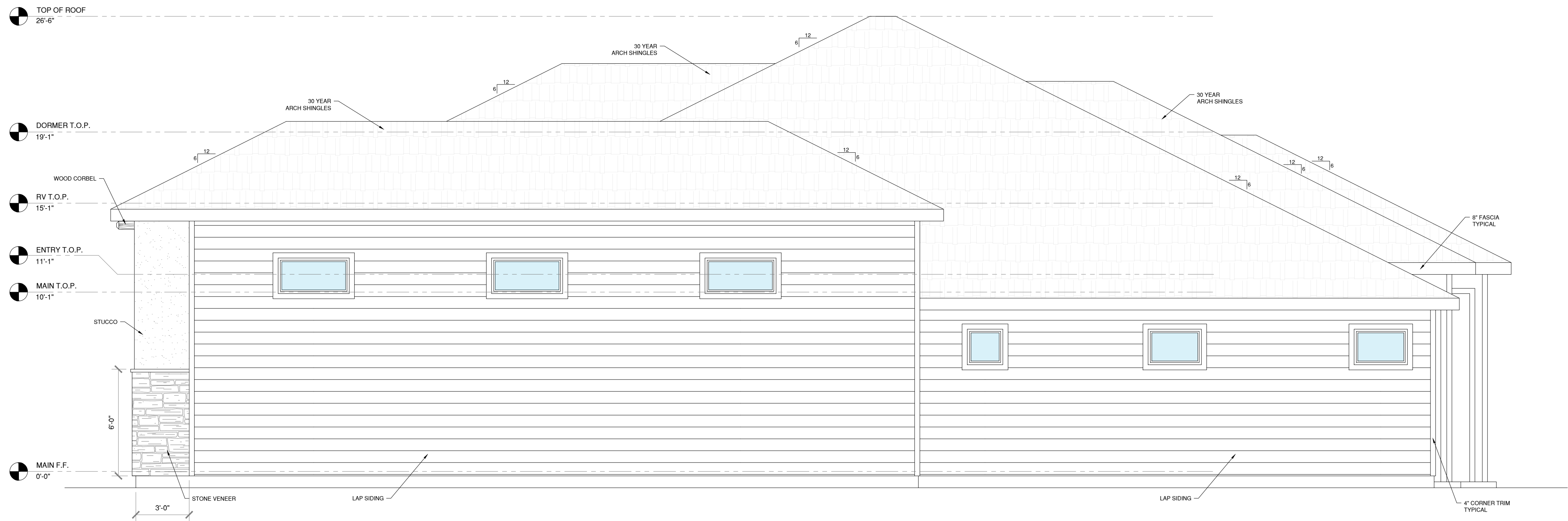
REAR ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



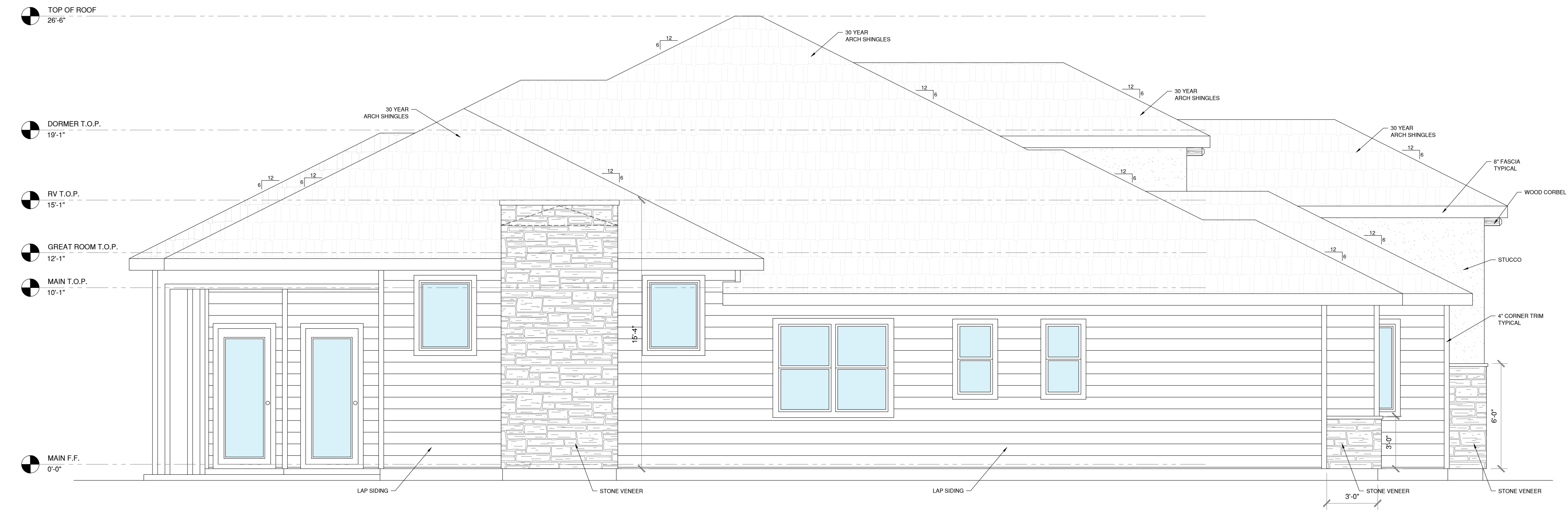
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RIGHT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



LEFT ELEVATION

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ELEVATIONS

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TIMBERSTONE SUB
LOT 04 BLOCK 01

ELECTRICAL PLAN

E1.0

PRESCRIPTIVE ENERGY CODE COMPLIANCE

THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE
INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC)

TABLE N1102.1 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT						
CLIMATE ZONE	WINDOW U-FACTOR	CEILING R-VALUE	WOOD WALL R-VALUE	FLOOR R-VALUE	SLAB R-VALUE	MECHANICAL DUCTING
5	0.35	38	21 (or) 13+5	30	10, 2FT	8

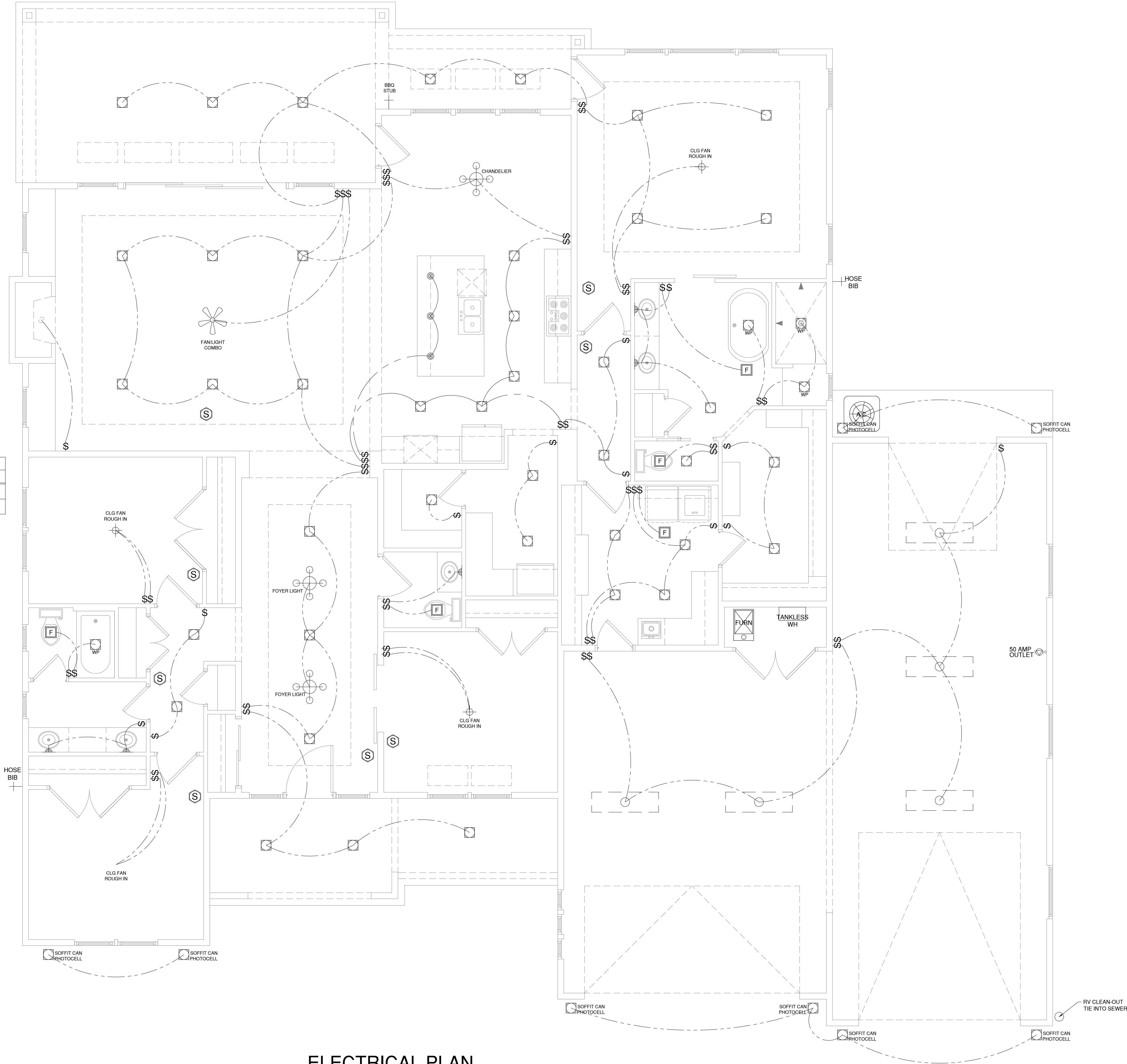
SEE MANUAL J VALUES

ELECTRICAL AND MECHANICAL GENERAL NOTES:

- MECHANICAL CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL VENTS AND DUCTWORK PRIOR TO CONSTRUCTION.
- FURNACE DUCTS FROM THE GARAGE INTO THE DWELLING ARE TO BE A MINIMUM OF 26 GAUGE GALVANIZED SHEET METAL WITH NO OPENINGS INTO GARAGE. FIRESTOP AND SEAL AROUND DUCT PENETRATIONS.
- FURNACES, HEAT PUMPS, WATER HEATERS AND OTHER MECHANICAL EQUIPMENT AS WELL AS GAS PIPING LOCATED IN GARAGE ARE TO BE PROTECTED FROM AUTOMOBILE IMPACT. SEE MECHANICAL INSPECTOR FOR PROTECTION REQUIREMENTS.
- APPLIANCES INSTALLED IN GARAGE GENERATING A SPARK, GLOW OR FLAME MUST KEEP PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES A MINIMUM OF 18" ABOVE FLOOR SURFACE.
- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN REQUIRED FOR OVERCURRENT PROTECTION. ALL SMOKE DETECTORS ARE TO BE WIRED TOGETHER ON ONE CIRCUIT AND DESIGNED FOR ALL DETECTORS TO SOUND IF ONE DETECTOR IS ACTIVATED.
- IN BATHROOMS, WATER CLOSET COMPARTMENTS AND LAUNDRY ROOMS PROVIDE A MECHANICAL FAN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR OR OPERABLE WINDOW. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- MIN. 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY

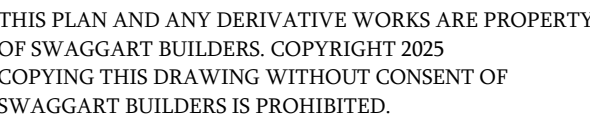
ELECTRICAL LEGEND

ID	DESCRIPTION
(S)	SMOKE / CO2 DETECTOR
(F)	EXHAUST FAN
\$	POLE SWITCH
\$D	SINGLE POLE SWITCH W/ DIMMER
⌚	110v OUTLET - DUPLEX RECEPTACLE
⌚⌚	110v OUTLET - QUADRUPLE RECEPTACLE
⌚⌚⌚	220v OUTLET - SPECIAL PURPOSE RECEPTACLE
□	RECESSED CAN LIGHTING - FLUSH MOUNTED
⊙	PENDULUM LIGHTING - SUSPENDED FROM CEILING
⊕	STANDARD LIGHTING - CEILING MOUNTED
⌒	STANDARD SCENCE - WALL MOUNTED
□	PUCK LIGHTING
⌒	EXTERIOR SCENCE - WALL MOUNTED
○	FLUORESCENT FIXTURE - CEILING MOUNTED
✱	CEILING FAN



ELECTRICAL PLAN

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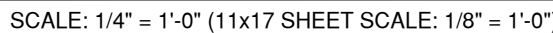


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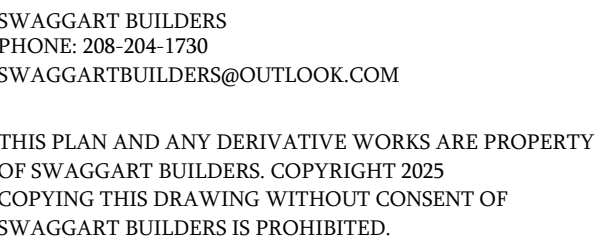
S1.0



FLOOR FRAMING NOTES:

1. PROVIDE MINIMUM 18" CRAWL SPACE CLEARANCE UNDER GIRDERS AND MINIMUM 24" CLEARANCE UNDER FLOOR JOISTS
2. COVER ALL CRAWL SPACE WITH 1/2" MIN. THICK 1/2" X 8" STEEL WALLS TO SILL PLATE WITH 6 MIL. VISQUEUM TO CREATE A "BLADDER SYSTEM". SEAL ALL SEAMS W/ 4" VYCOR TAPE
3. UNLESS OTHERWISE NOTED ON PLANS, USE 7/8" T&B S&B DECKING FOR ALL FLOOR JOISTS. PROVIDE 1/2" MIN. GAP BETWEEN S&B SPACING. FRAMING SUB-CONTRACTOR MAY NEED TO ADJUST JOIST DRAINING AS REQUIRED FOR PLUMBING ITEMS THAT REQUIRE A DRAIN PENETRATION THROUGH FLOOR SURFACE ABOVE
4. PONYWALLS ARE 24" CONSTRUCTION @ 24" O.C. UNLESS NOTED OTHERWISE. ALIGN STUDS UNDER JOISTS. ADDITIONAL 24" STUDS MAY BE REQUIRED IN PONYWALLS FOR ROOF-BEARING POINT LOADS
5. ALL WALLS SHALL BE CONCRETE OR EQUIVALENT
6. PRESSURE-TREATED WOOD OR EQUIVALENT WATER RESISTANT PER CODE
7. PROVIDE R-19 INSULATION BETWEEN FLOOR JOISTS OVER ALL UNHEATED AREA

02/11/2025
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VSE Project Number: U7008-0002-251
**STRUCTURAL LATERAL
AND RV GARAGE STUD
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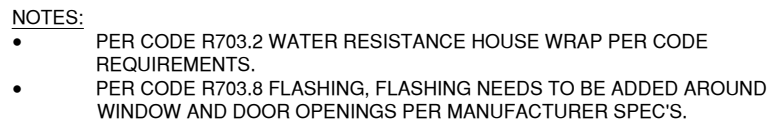
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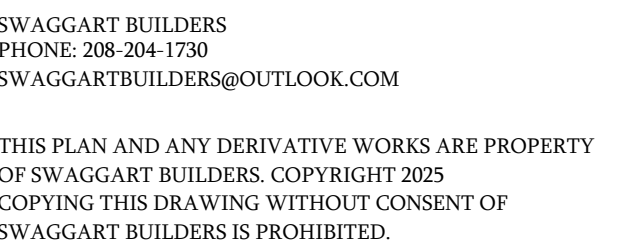
ROOF FRAMING

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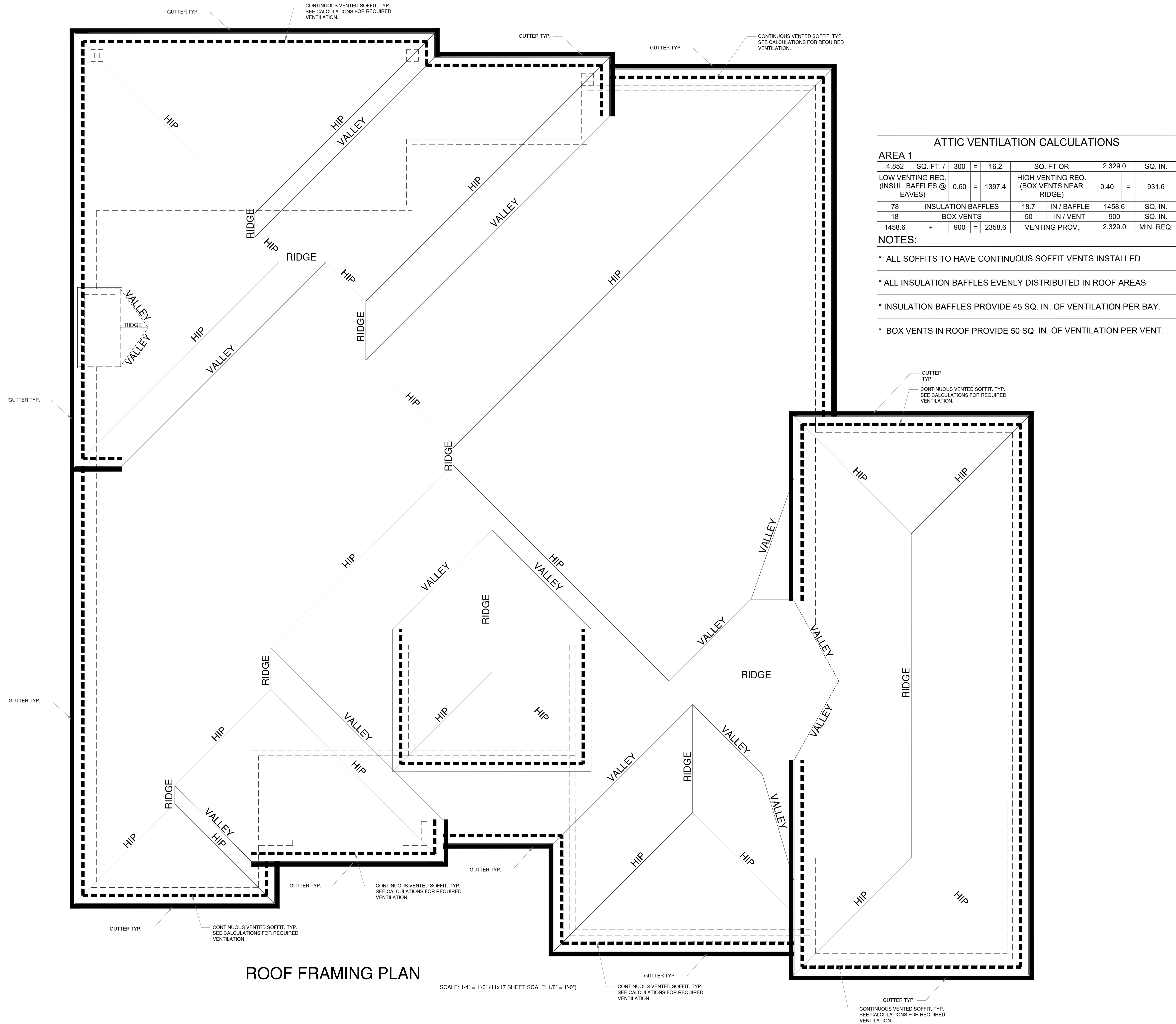
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TIMBERSTONE SUB
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ROOF PLAN

S3.0





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STRUCTURAL
DETAILS

SD1.0

