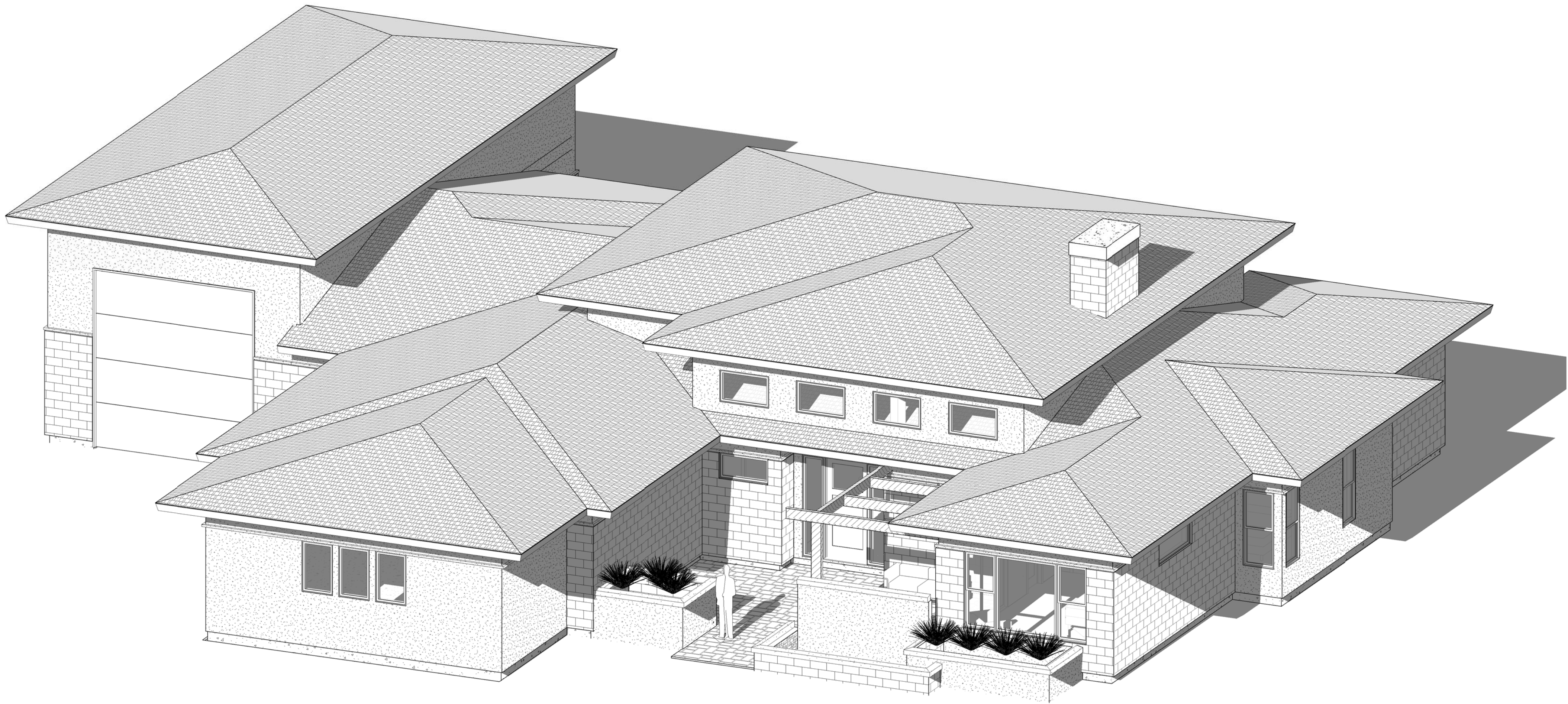


A NEW MODERN PRAIRIE HOME



2 PERSPECTIVE



1 PERSPECTIVE 2

GENERAL NOTES

1. THE SCOPE OF SERVICES PROVIDED BY "dwelling design l.l.c." IS LIMITED TO PROVIDING A WORKING SET OF DRAWINGS. THIS SET OF PLANS IS SUFFICIENT FOR OBTAINING A BUILDING PERMIT UNLESS DIRECTLY REQUESTED BY THE OWNER OR BUILDING CONTRACTOR. THESE PLANS ARE LIMITED TO DESCRIBING LOCATIONS, DIMENSIONS, GENERAL BUILDING COMPONENTS AND KEY FINISH MATERIALS.
2. ALL WORK SHALL COMPLY WITH THE MOST CURRENT REQUIREMENTS SET FORTH BY LOCAL, COUNTY, STATE AND GENERAL LAWS, RULES, CODES, ORDINANCES, OR REGULATIONS. GENERAL CONTRACTOR AND SUB-CONTRACTOR(S) TO VERIFY ALL APPLICABLE CODES AND METHODS OF CONSTRUCTIONS PRIOR TO BEGINNING WORK.
3. ALL WORK TO MECHANICAL, PLUMBING AND ELECTRICAL WILL BE DESIGN BUILD BY THE CONTRACTOR AND SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES.
4. ANY ERROR OR OMMISION FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECTURAL DESIGNER'S ATTENTION.
5. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL PRECEDE ANY AND ALL SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND JOB SPECIFIC CONDITIONS.
6. THE OFFICE OF "dwelling design" MUST BE NOTIFIED OF VARIATIONS OR DISCREPANCIES ARRIVED AT DURING CONSTRUCTION PRIOR TO ANY FURTHER WORK.

CODE & DESIGN CRITERIA

Adopted Codes:

- 2018 International Building Code (IBC)
- 2018 International Residential Code (IRC)
- 2018 International Energy Code (Residential)
- 2018 International Energy Code (Commercial)
- 2018 International Mechanical Code (IMC)
- 2018 International Fuel and Gas Code (IFGC)
- 2018 International Fire Code (IFC)
- 2017 National Electrical Code (NEC)
- 2017 Idaho State Plumbing Code (ISPC)

All Codes listed are effective January 1, 2018, and all local amendments.

Snow Load	Ground Exposure	Wind Speed (mph)	Soil Classification	Weathering	Frost Line Depth	Termite	Decay	Temp.	Humidity	Ice Shield	Flood	Air Freezing Index	Mean Annual Temp.
25 psf	90 Exposure C	B	Severe	24"	Slight to moderate	None to slight	10° F	No	CCFAR 9/15/87	980	51° F		

Prescriptive Residential Energy Code Compliance

Climate Zone	Fenestration U-Factor	Roofing U-Factor	Glazed Expansion SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Masonry Wall R-Value	Floor R-Value	Basement Wall R-Value and Depth	Ceiling Space R-Value
3 and warmer	0.30	15	NA	48	20/25/15x7	13/17	38/1	15/18	15/20

Energy Code Compliance

See the compliance options below. Plans must be submitted demonstrating energy code compliance.

1. **Option 1: Total UA Alternative Approach**
A copy of the UA Report compliance report is attached to the plans. (This includes the cover sheet and the inspection checklists.)
 2. **Option 2: Prescriptive Component Approach**
Using software tools defined in the ASHRAE 90.1-2010 standard will generate a report with proposed rating score and inspection checklists required to be submitted. Maximum LEED score - 61.
 3. **Option 3: Energy Rating Index (ERI)**
Approved rating software tools defined in the ASHRAE 90.1-2010 standard will generate a report with proposed rating score and inspection checklists required to be submitted. Maximum LEED score - 61.
 4. **Option 4: Other Simulated Performance Software**
Software analysis completed and signed.
- a. R-values are minimums. U-Factors are maximums. U-Factors and solar heat gain coefficient (SHGC) are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the installed R-value of the insulation shall not be less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The solar heat gain coefficient (SHGC) column applies to all glazed fenestration.
- c. The first R-value applies to continuous insulation, the second to framing cavity insulation where insulation meets the requirements.
- d. R-5 shall be added to the required side edge R-values for heated slab.
- e. Insulation sufficient to fill the framing cavity, R-19 minimum.
- f. The first value is cavity insulation, the second value is continuous insulation, so 13 x 17 means R-13 cavity insulation plus R-17 continuous insulation.
- g. The second R-value applies when more than half the insulation is on the interior of the mass wall.
- h. For residential log home building thermal envelope construction requirements see ASHRAE 90.1-2010.
- i. The Ceiling R-Value in Climate Zone 3 may be reduced to R-38 when the Wood Frame Wall R-Value is increased to R-21 and the Fenestration U-Factor is reduced to 0.31.

10/1/18

SQUARE FOOTAGE DESCRIPTION

TOTAL LIVING AREA	3068 SQ. FT.
BEDROOMS	4
BATHS	3
GARAGE	960 SQ. FT.
RV GARAGE	1004 SQ. FT.

PROJECT CONTACTS

OWNER: SWAGGART WOOD PROPERTIES LLC - LOGAN SWAGGART
PHONE: 208-204-1730

RESIDENTIAL DESIGNER: DWELLING DESIGN - MICHAEL BELT
ADDRESS: 2901 W. NEFF STREET, BOISE, ID 83703
PHONE: 208-429-1946

STRUCTURAL ENGINEER: STRUX ENGINEERING - MATT CHRISTIAN
EMAIL: MATT@STRUXENGINEERING.COM
PHONE: 512-676-9004

GENERAL CONTRACTORS: SWAGGART WOOD PROPERTIES LLC - LOGAN SWAGGART
PHONE: 208-204-1730

DRAWING INDEX

COVER SHEET	STRUCTURAL
CS COVER SHEET/GENERAL NOTES	S0.0 STRUCTURAL NOTES
ARCHITECTURAL	S1 FOUNDATION PLAN
A0 SITE PLAN	S2 ROOF FRAMING PLAN
A1 ELEVATIONS	S2.1 ROOF FRAMING - CLERESTORY
A1.1 ELEVATIONS	S3 SHEAR WALL PLAN
A2 FLOOR PLAN	S4.0 TYP. FOUNDATION DETAILS
D1 TYPICAL WALL/BUILDING SECTION	S4.1 FOUNDATION DETAILS
E1 ELECTRICAL PLANS	S5.0 TYP. FRAMING DETAILS
	S5.1 ROOF FRAMING DETAILS

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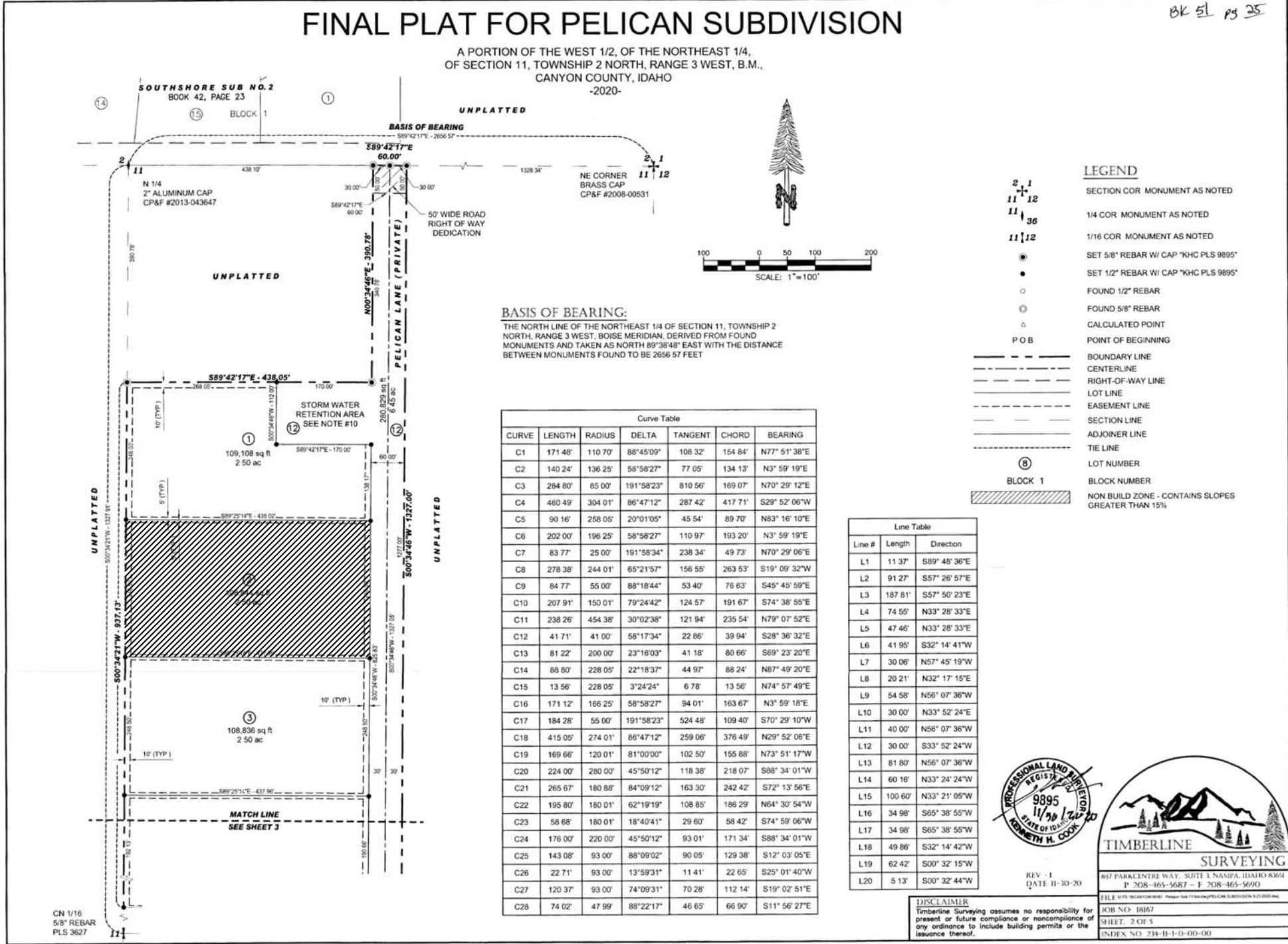
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COVER SHEET

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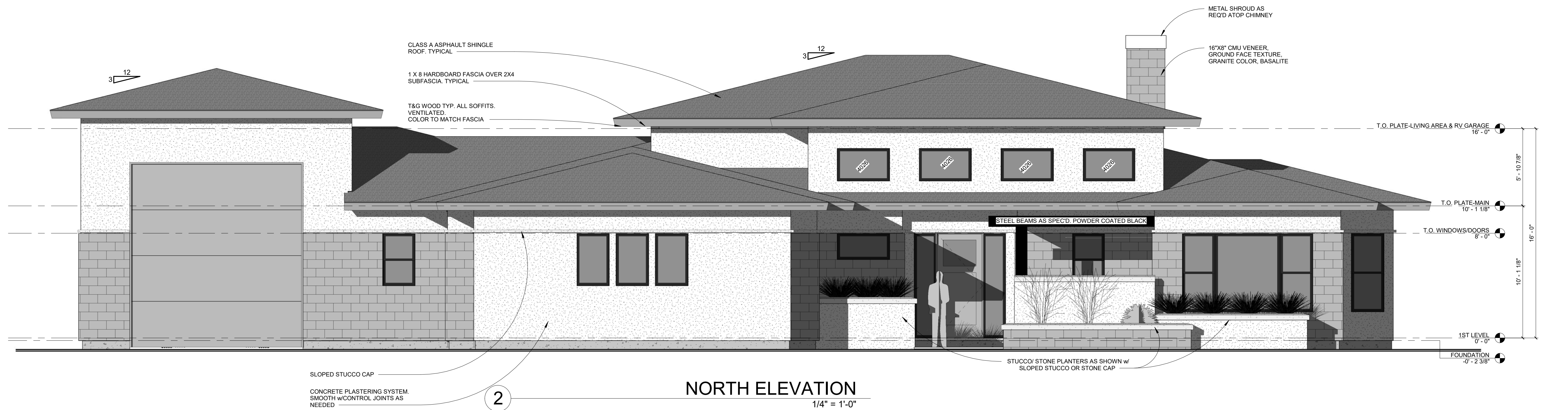
CS



The logo for Dwelling Design features the words "DWELLING" and "DESIGN" stacked vertically in a bold, sans-serif font. To the left of the text is a graphic consisting of several intersecting lines, some solid and some dashed, forming a series of triangles and parallelograms.

ELEVATIONS

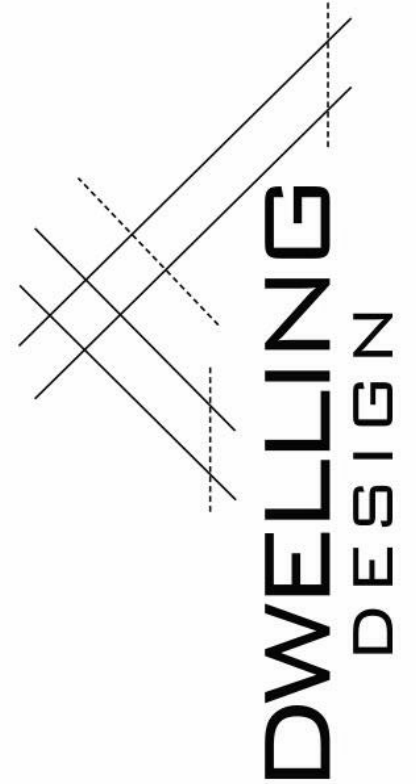
A1



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ELEVATIONS

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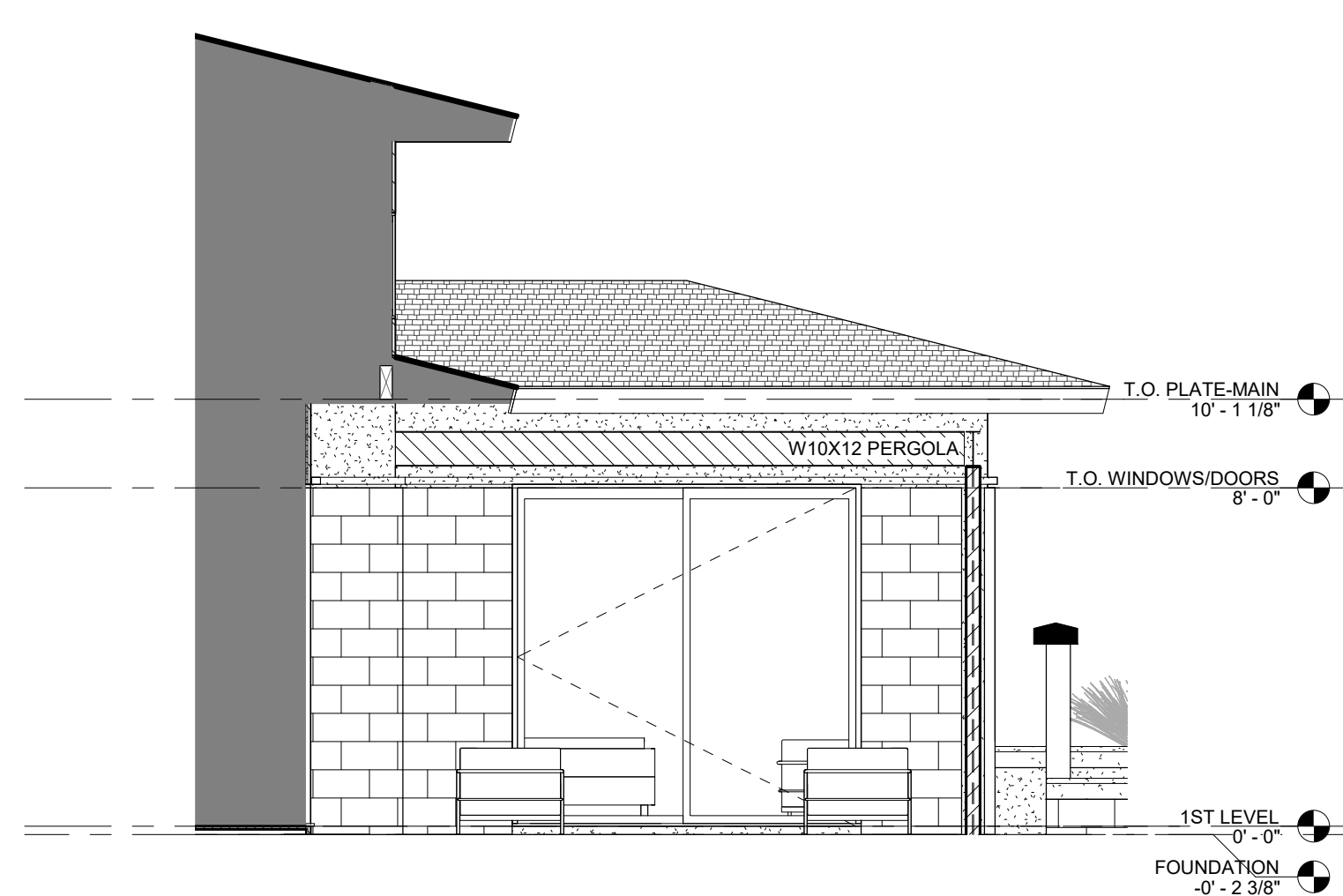
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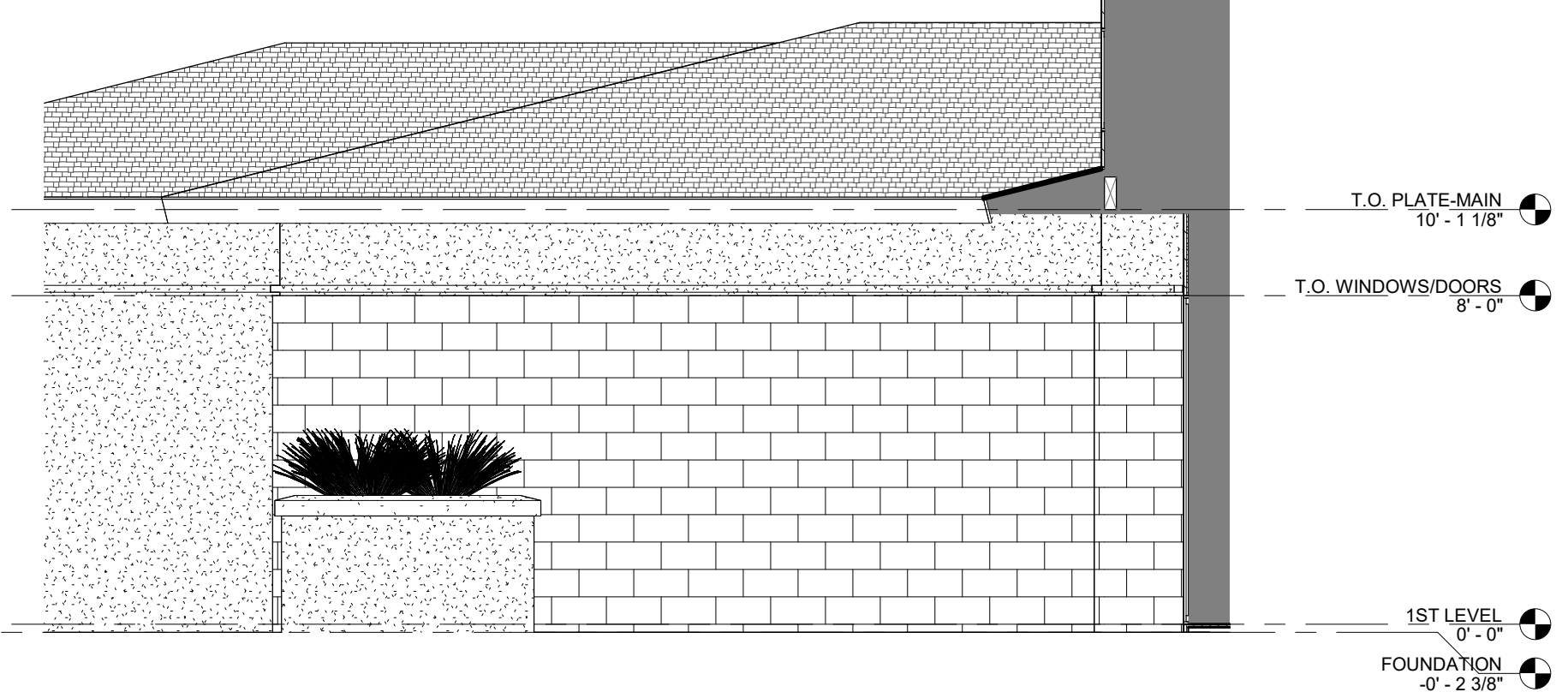
2 WEST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



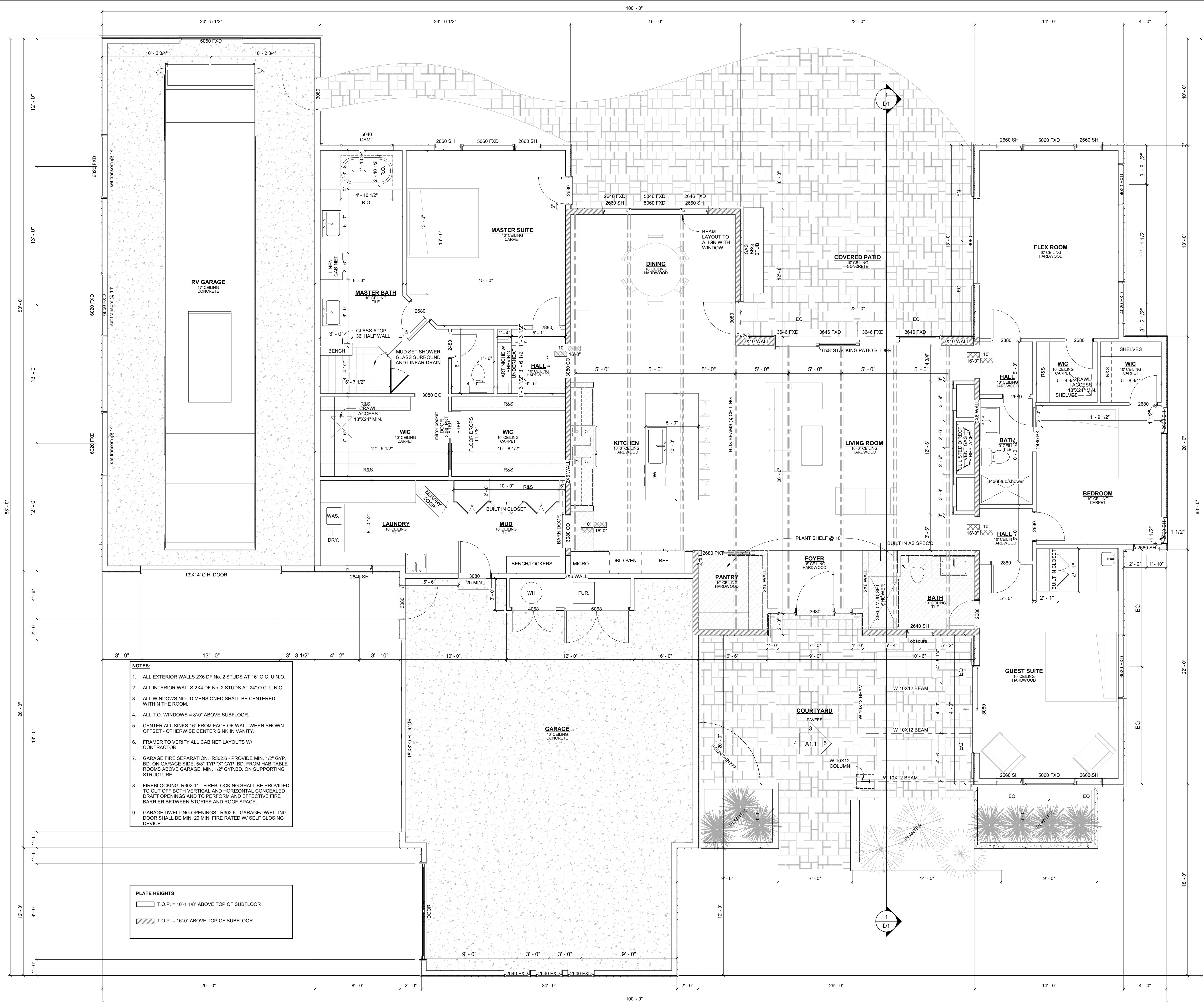
5 EAST Elevation COURTYARD
1/4" = 1'-0"



4 WEST Elevation COURTYARD
1/4" = 1'-0"



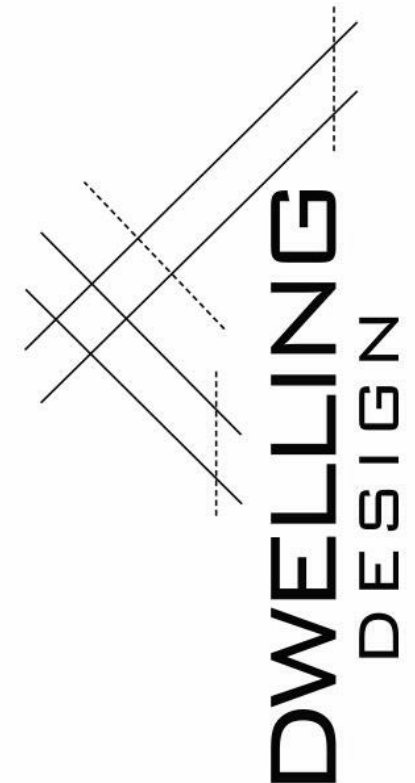
3 NORTH Elevation COURTYARD
1/4" = 1'-0"



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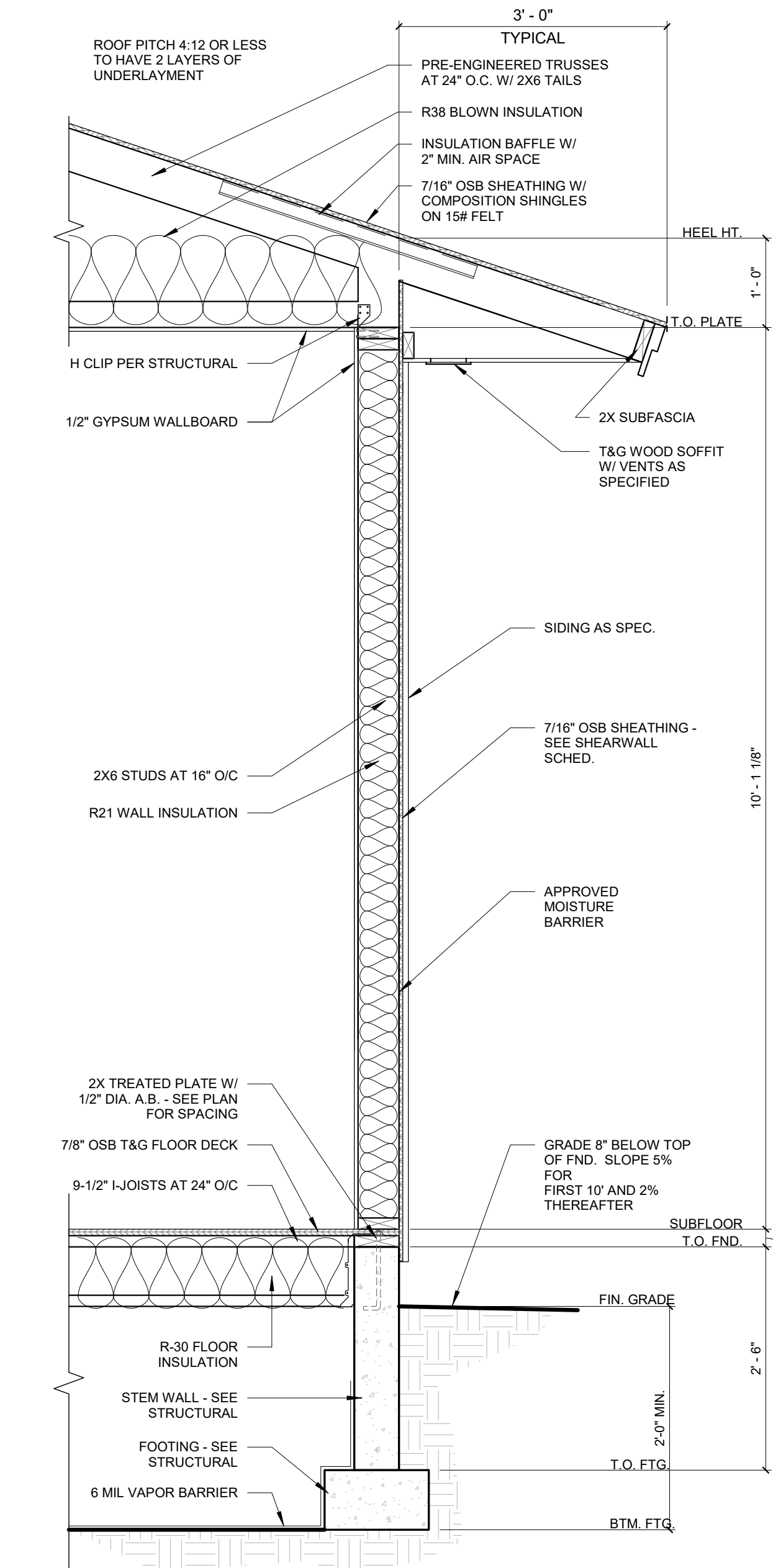
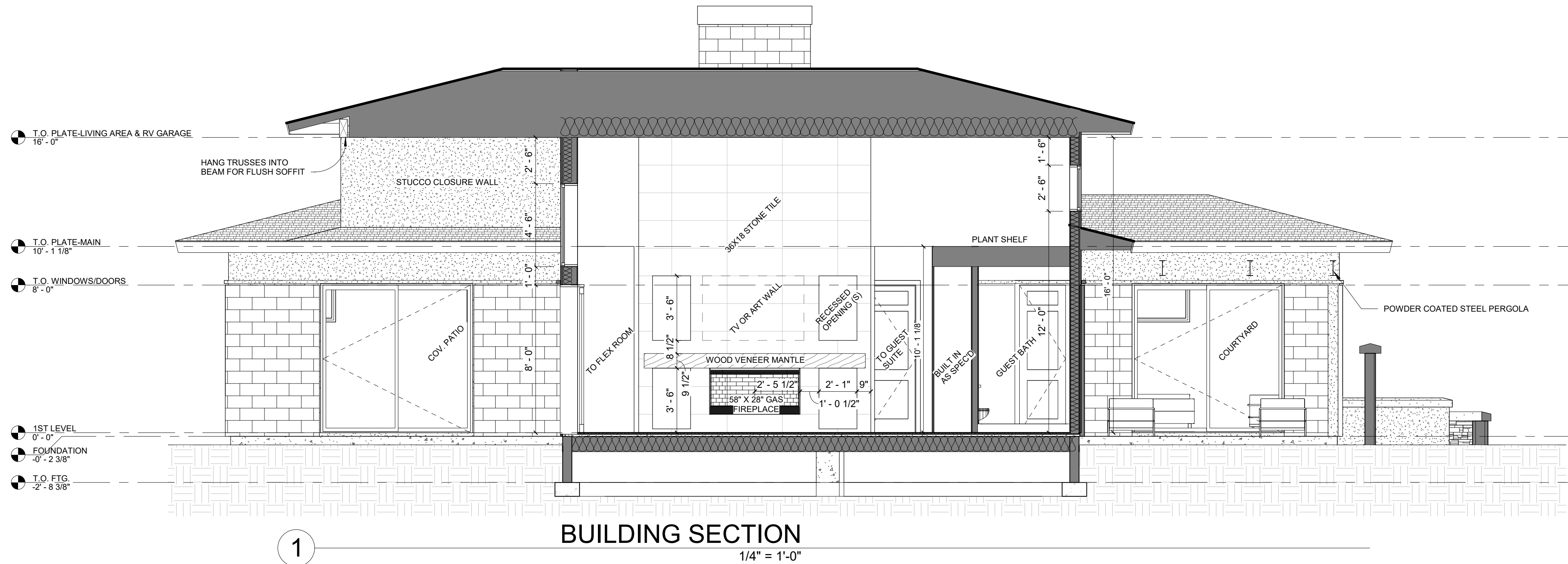
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FIRST FLOOR PLAN

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JOB #: 2020023
DRAWN: MAB
CHK'D BY:

A2



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WALL / BLDG.
SECTIONS

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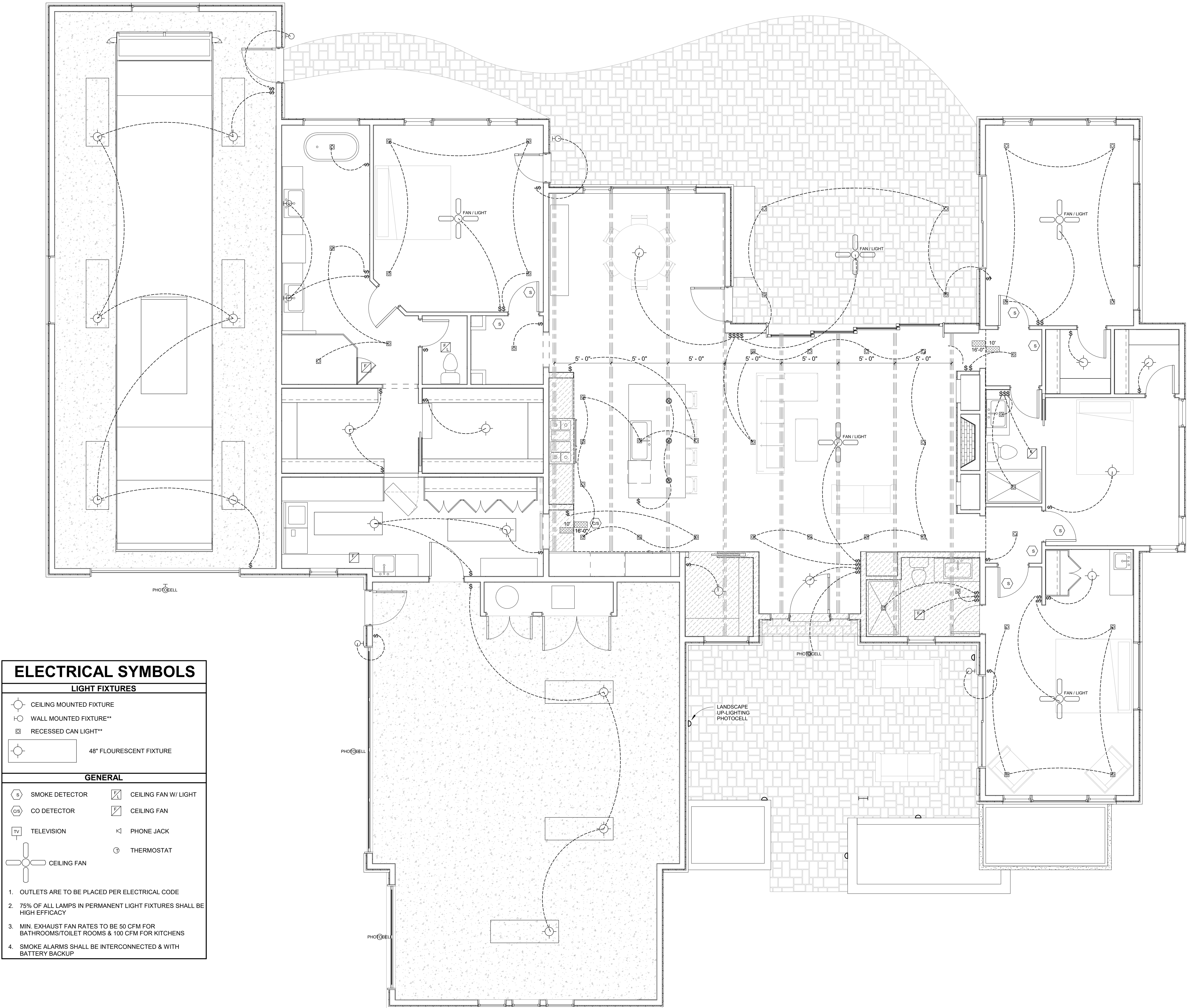
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DWELLING
DESIGN



ELECTRICAL SYMBOLS

LIGHT FIXTURES

- CEILING MOUNTED FIXTURE
- WALL MOUNTED FIXTURE**
- RECESSED CAN LIGHT**
- 48" FLOURESCENT FIXTURE

GENERAL

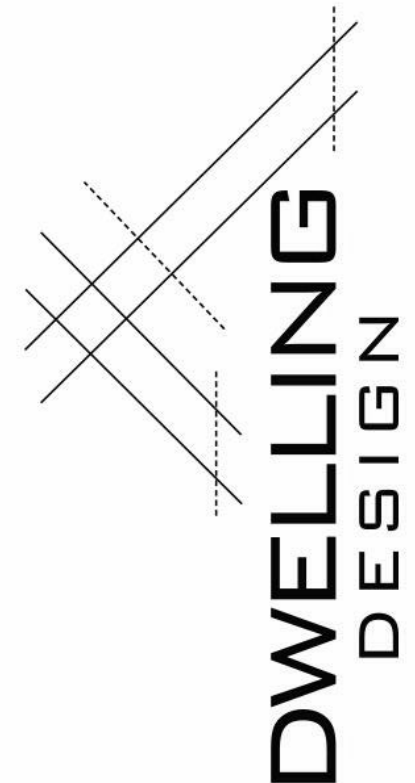
- SMOKE DETECTOR
- CO DETECTOR
- TELEVISION
- CEILING FAN
- CEILING FAN W/ LIGHT
- CEILING FAN
- PHONE JACK
- THERMOSTAT

- OUTLETS ARE TO BE PLACED PER ELECTRICAL CODE
- 75% OF ALL LAMPS IN PERMANENT LIGHT FIXTURES SHALL BE HIGH EFFICACY
- MIN. EXHAUST FAN RATES TO BE 50 CFM FOR BATHROOMS/TOILET ROOMS & 100 CFM FOR KITCHENS
- SMOKE ALARMS SHALL BE INTERCONNECTED & WITH BATTERY BACKUP

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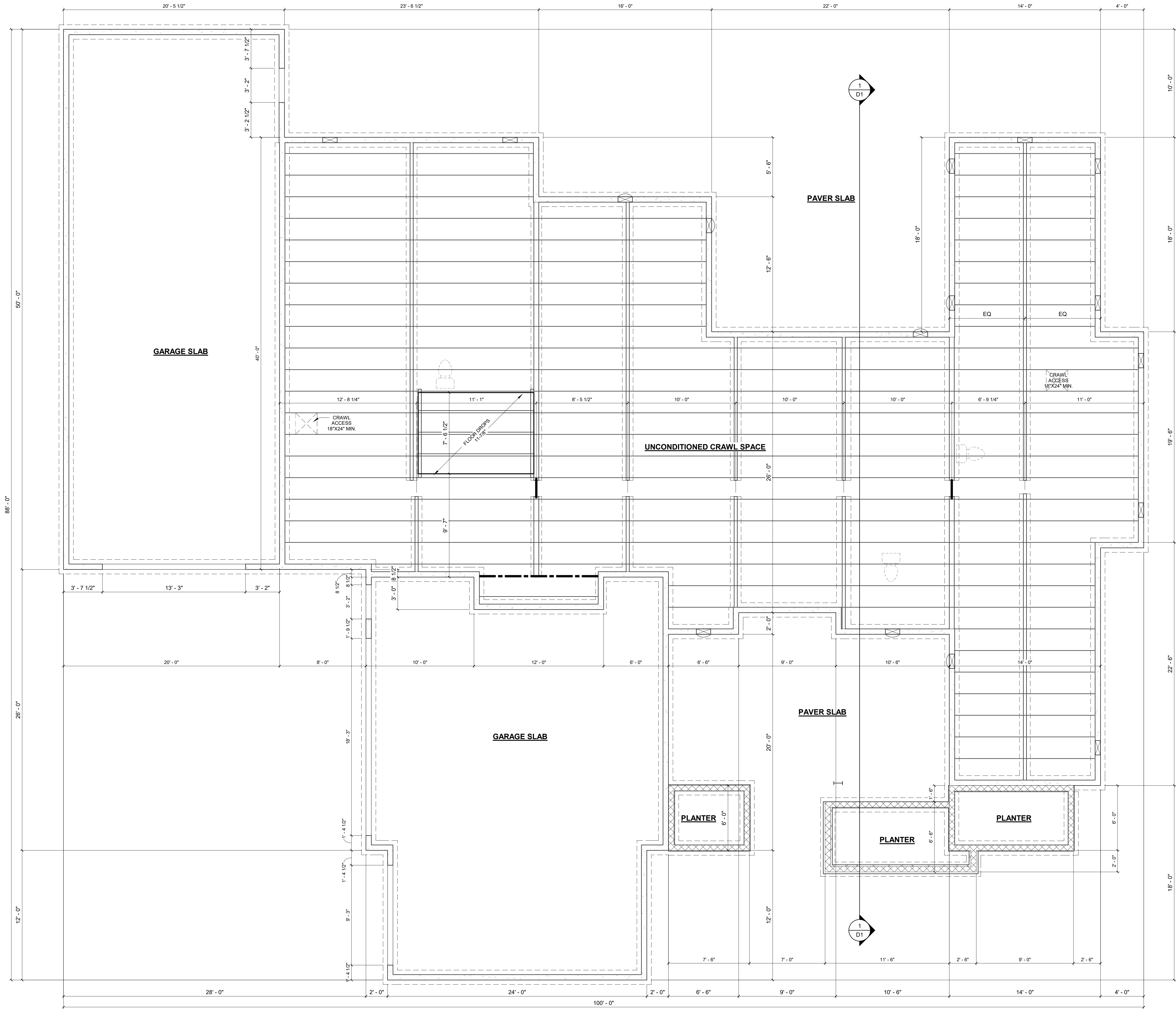
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ELECTRICAL PLAN

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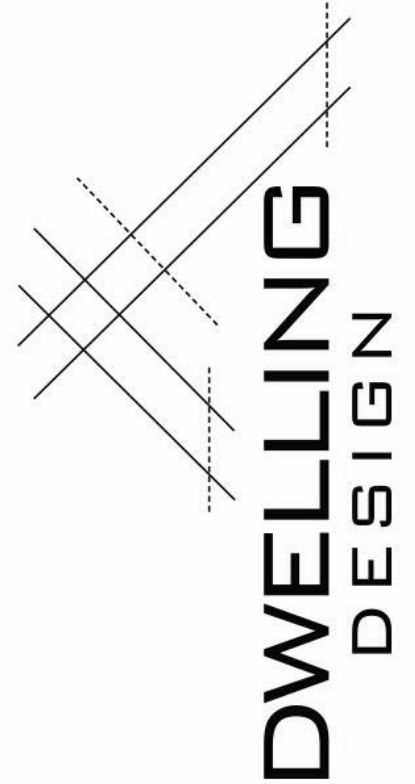
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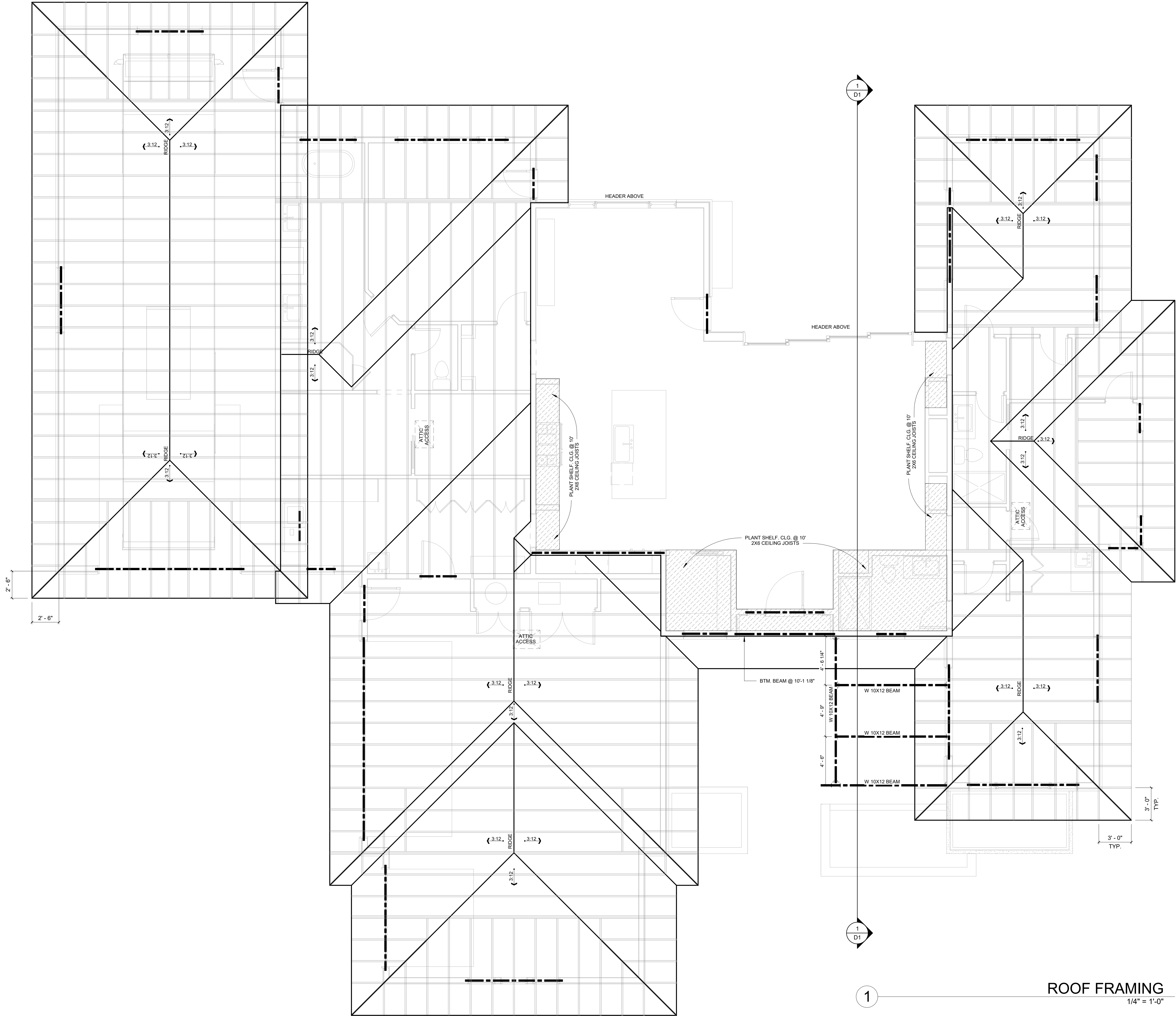


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FOUNDATION PLAN

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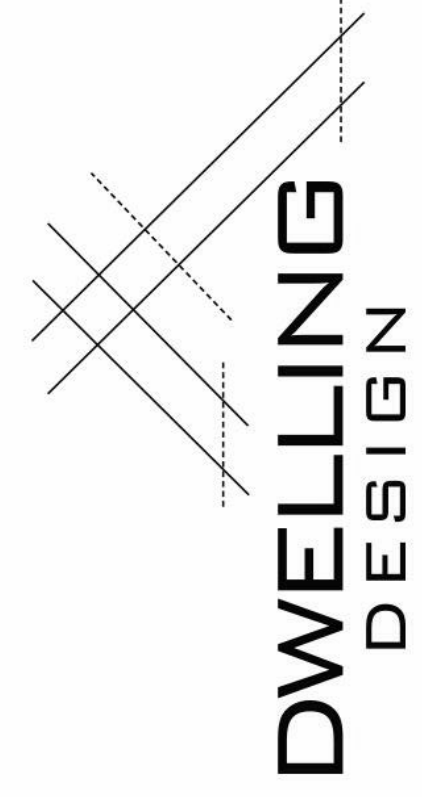
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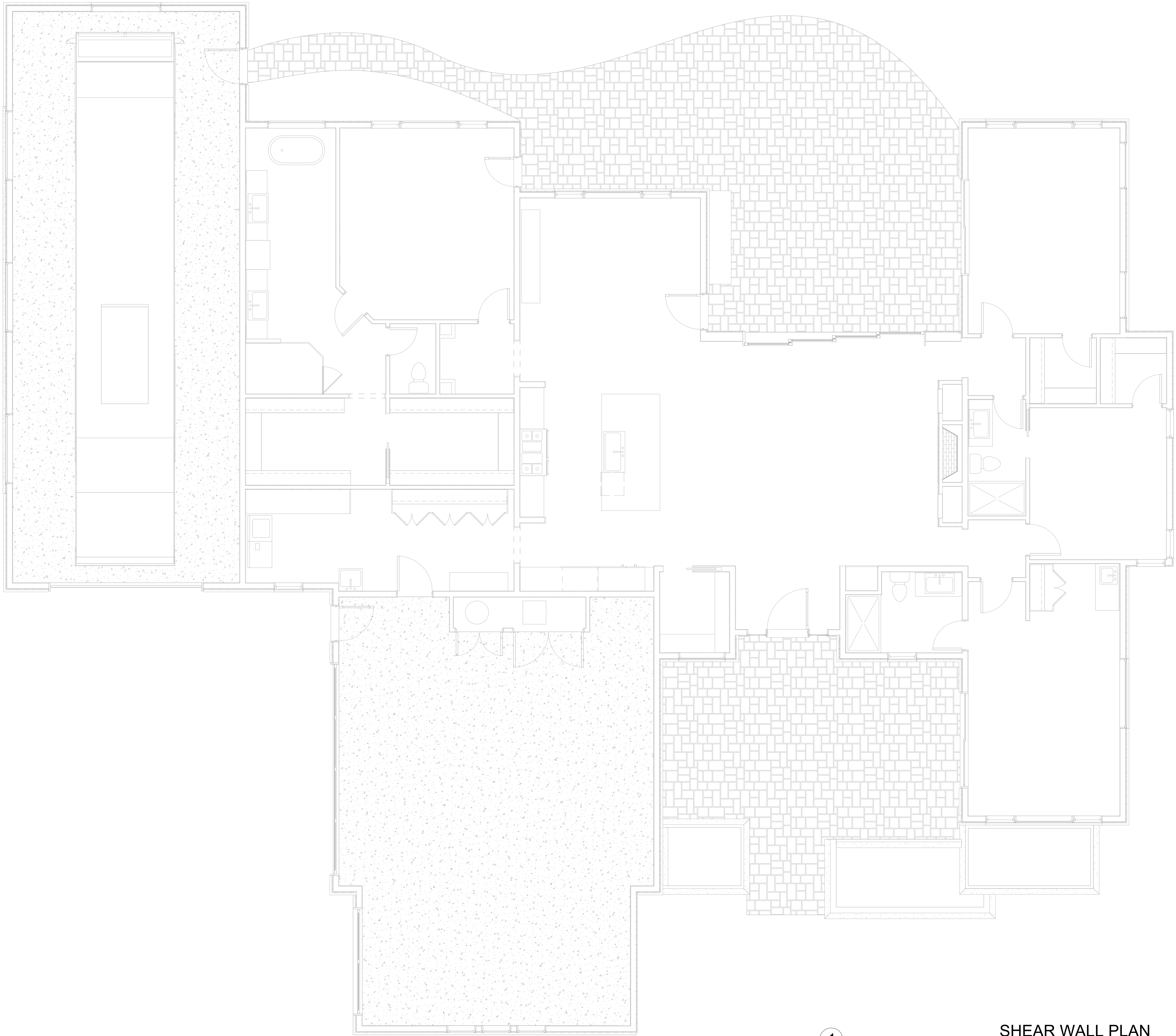
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ROOF
FRAMING

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S2

ROOF FRAMING
1/4" = 1'-0"

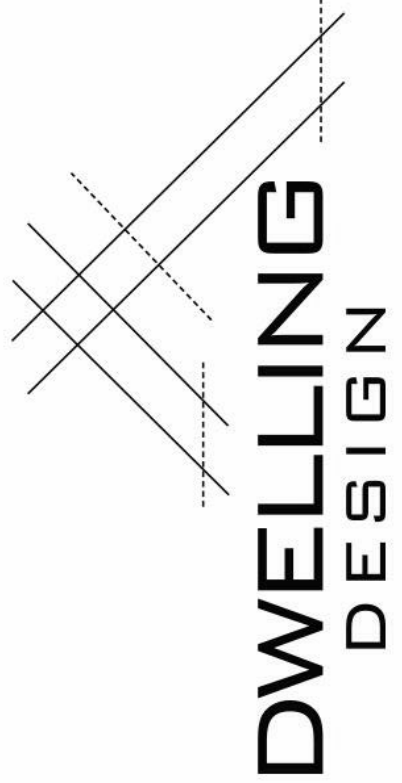


1

SHEAR WALL PLAN

1/4" = 1'-0"

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SHEAR WALL
PLAN

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S3