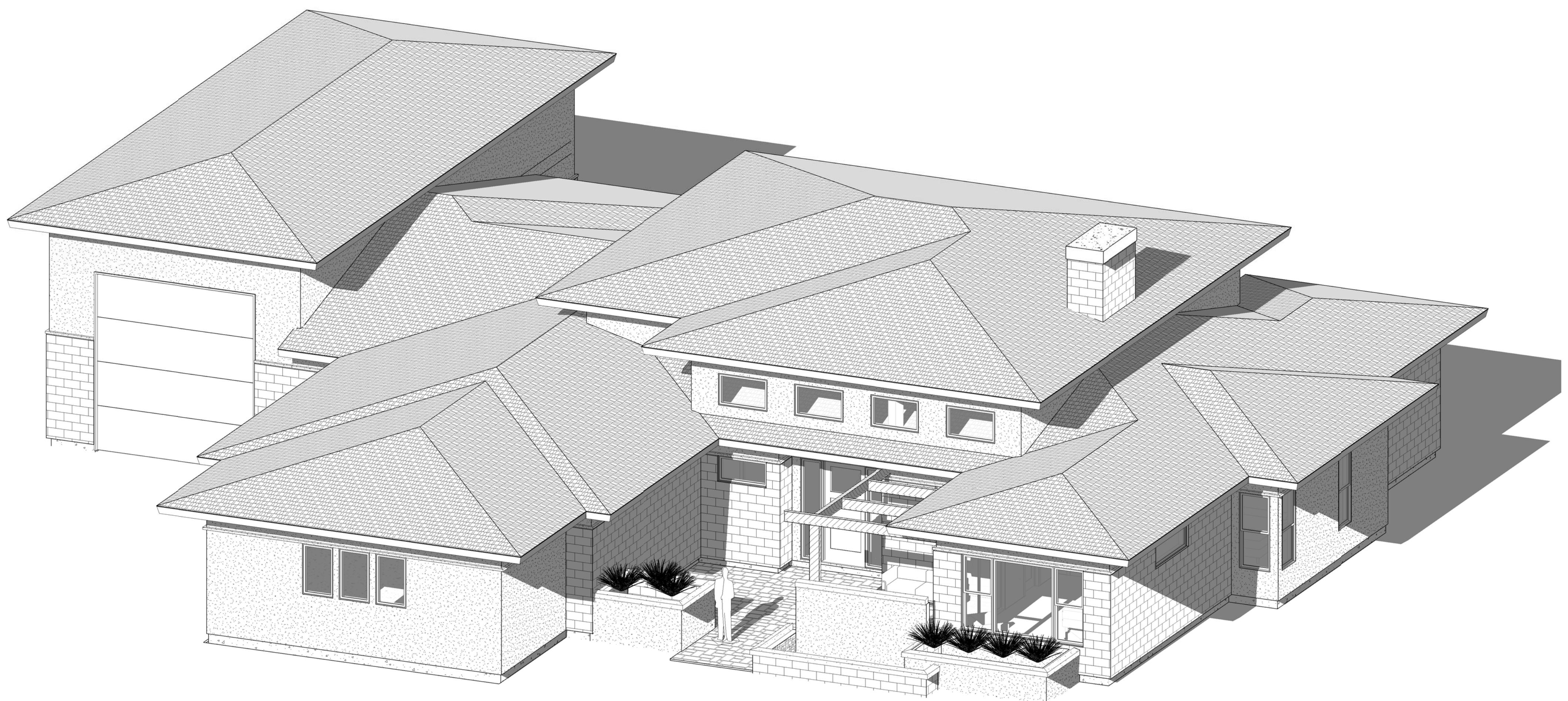


A NEW MODERN PRAIRIE HOME



GENERAL NOTES

1. THE SCOPE OF SERVICES PROVIDED BY "dwelling design llc" IS LIMITED TO PROVIDING A DRAFTING SET OF DRAWINGS. THIS SET OF PLANS IS SUFFICIENT FOR OBTAINING A BUILDING PERMIT UNLESS DIRECTLY REQUESTED BY THE OWNER OR BUILDING CONTRACTOR. THESE PLANS ARE LIMITED TO DESCRIBING LOCATIONS, DIMENSIONS, GENERAL BUILDING COMPONENTS AND KEY FINISH MATERIALS.

2. ALL WORK SHALL COMPLY WITH THE MOST CURRENT REQUIREMENTS SET FORTH BY LOCAL, COUNTY, STATE AND GENERAL LAWS, RULES, CODES, ORDINANCES, OR REGULATIONS. GENERAL CONTRACTOR AND SUB-CONTRACTOR(S) TO VERIFY ALL APPLICABLE CODES AND METHODS OF CONSTRUCTIONS PRIOR TO BEGINNING WORK.

3. ALL WORK TO MECHANICAL, PLUMBING AND ELECTRICAL WILL BE DESIGN BUILD BY THE CONTRACTOR AND SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES.

4. ANY ERROR OR OMISSION FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECTURAL DESIGNER'S ATTENTION.

5. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL PRECEDE ANY AND ALL DRAWN DIMENSIONS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND JOB SPECIFIC CONDITIONS.

6. THE OFFICE OF "dwelling design" MUST BE NOTIFIED OF VARIATIONS OR DISCREPANCIES ARRIVED AT DURING CONSTRUCTION PRIOR TO ANY FURTHER WORK.

CODE & DESIGN CRITERIA

Adopted Codes:

- 2018 International Building Code (IBC)
- 2018 International Residential Code (IRC)
- 2018 International Energy Code (Residential)
- 2018 International Energy Code (Commercial)
- 2018 International Mechanical Code (IMC)
- 2018 International Fuel and Gas Code (IFGC)
- 2018 International Fire Code (IFC)
- 2017 National Electrical Code (NEC)
- 2017 Idaho State Plumbing Code (ISP)

All Codes listed are effective January 1, 2018, and all local amendments.

Snow Load	Ground	Wind Speed (mi/h)	Category	Design	Seismic	Weathering	Depth'	Front Line	Termite'	Deay'	Temp'	Wind Penetration	Uninsulated	Insulated	Roof Pen.	Roof Pen.	Attic Pen.	Attic Pen.	Attic Pen.
25 psf	90	Exposure C	B	Severe	24"	Slight to moderate	None to slight	10° F	No	CDFHR 9/19/87	980	51° F							

Prescriptive Residential Energy Code Compliance

IRC Table N1102.1.2 (R402.1.2) Insulation and Fenestration Requirements by Component ¹⁴										
Climate Zone	Fenestration	Skylight U-Factor	Glossed Fenestration	Ceiling U-Factor	Wood Frame Wall U-Factor	Wood Frame Wall R-Value	Floor U-Factor	Basement U-Factor	Crawl Space U-Factor	
1 and Marine 4	0.32	.35	NR	49	20 OR 13x5 ¹⁵	13/17	30.4	15/19	10.21	15/19

Energy Code Compliance

¹⁴ R-values are minimum U-factors and solar heat gain coefficient (SHGC) are maximum values. Where a value is listed in a category, the first value is the minimum and the second is the maximum. The thickness of the insulation shall not be less than the R-value specified in the table.

a. The fenestration U-factor column excludes skylights. The solar heat gain coefficient (SHGC) is maximum. Where a value is listed in a category, the first value is the minimum and the second is the maximum. The thickness of the insulation shall not be less than the R-value specified in the table.

b. The first R-value applied to continuous insulation, the second to framing cavity insulation, unless other insulation meets the requirements.

c. R-6 shall be applied to exterior edges for heated slab.

d. R-6 shall be applied to the framing cavity.

e. The first value is cavity insulation, the second is continuous insulation, so "1x5" means R-1 cavity insulation plus R-5 continuous insulation.

f. The R-value applies when more than half the insulation is in the interior of the wall.

g. For residential log home building thermal envelope construction requirements see R402.6.

h. The Ceiling U-Value in Climate Zone 5 may be reduced to R-38 when the Wood Frame Wall R-Value is increased to R-21 and the Penetration U-Factor is reduced to 0.31.

SQUARE FOOTAGE DESCRIPTION

TOTAL LIVING AREA	3068 SQ. FT.
BEDROOMS	4
BATHS	3
GARAGE	960 SQ. FT.
RV GARAGE	1004 SQ. FT.

PROJECT CONTACTS

OWNER: SWAGGART WOOD PROPERTIES LLC - LOGAN SWAGGART
PHONE: 208-204-1730

RESIDENTIAL DESIGNER: DWELLING DESIGN - MICHAEL BELT
ADDRESS: 2901 W. NEFF STREET, BOISE, ID 83703
PHONE: 208-429-1946

STRUCTURAL ENGINEER: STRUX ENGINEERING - MATT CHRISTIAN
EMAIL: MATT@STRUXENGINEERING.COM
PHONE: 512-676-9004

GENERAL CONTRACTORS: SWAGGART WOOD PROPERTIES LLC - LOGAN SWAGGART
PHONE: 208-204-1730

DRAWING INDEX

COVER SHEET	STRUCTURAL
CS	S0.0 STRUCTURAL NOTES
COVER SHEET/GENERAL NOTES	S1. FOUNDATION PLAN
ARCHITECTURAL	S2. ROOF FRAMING PLAN
A0. SITE PLAN	S2.1 ROOF FRAMING - CLESTORY
A1. ELEVATIONS	S3. SHEET PILING PLAN
A1.1 ELEVATIONS	S4.1 TYP. PILE FOUNDATION DETAILS
A2. FLOOR PLAN	S4.1 FOUNDATION DETAILS
A2. TYPICAL WALL/BUILDING SECTION	S4.1 TYP. FRAMING DETAILS
E1. ELECTRICAL PLANS	S5.1 ROOF FRAMING DETAILS

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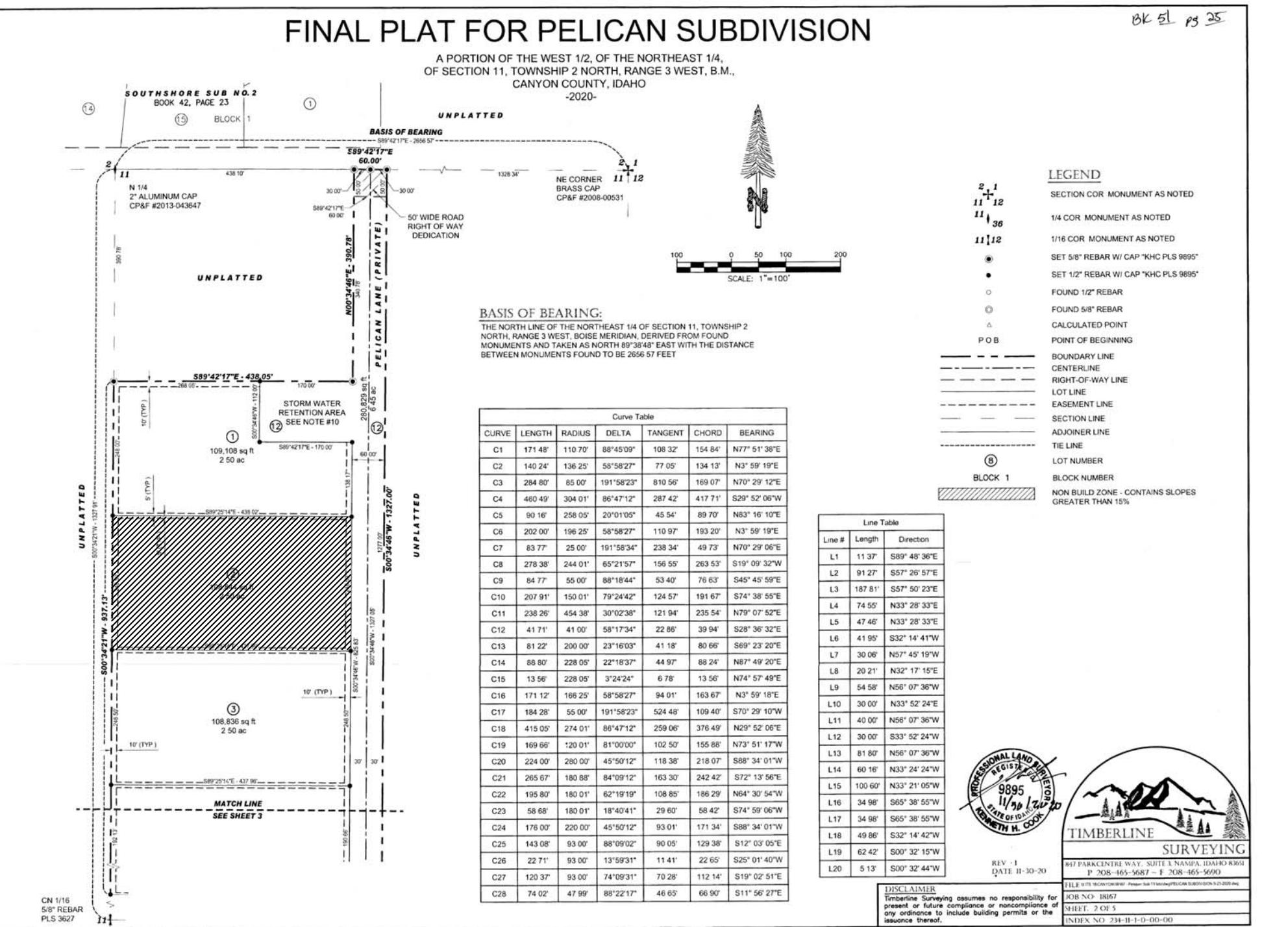
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DRAWN: MAB
CHK'D BY: <i>[Signature]</i>

CS



PROJECT INFORMATION

ADDRESS; TBD PELICAN LN, CALDWELL ID 83686
PARCEL #;
LOT 2 BLOCK X
PELICAN SUBDIVISION #3

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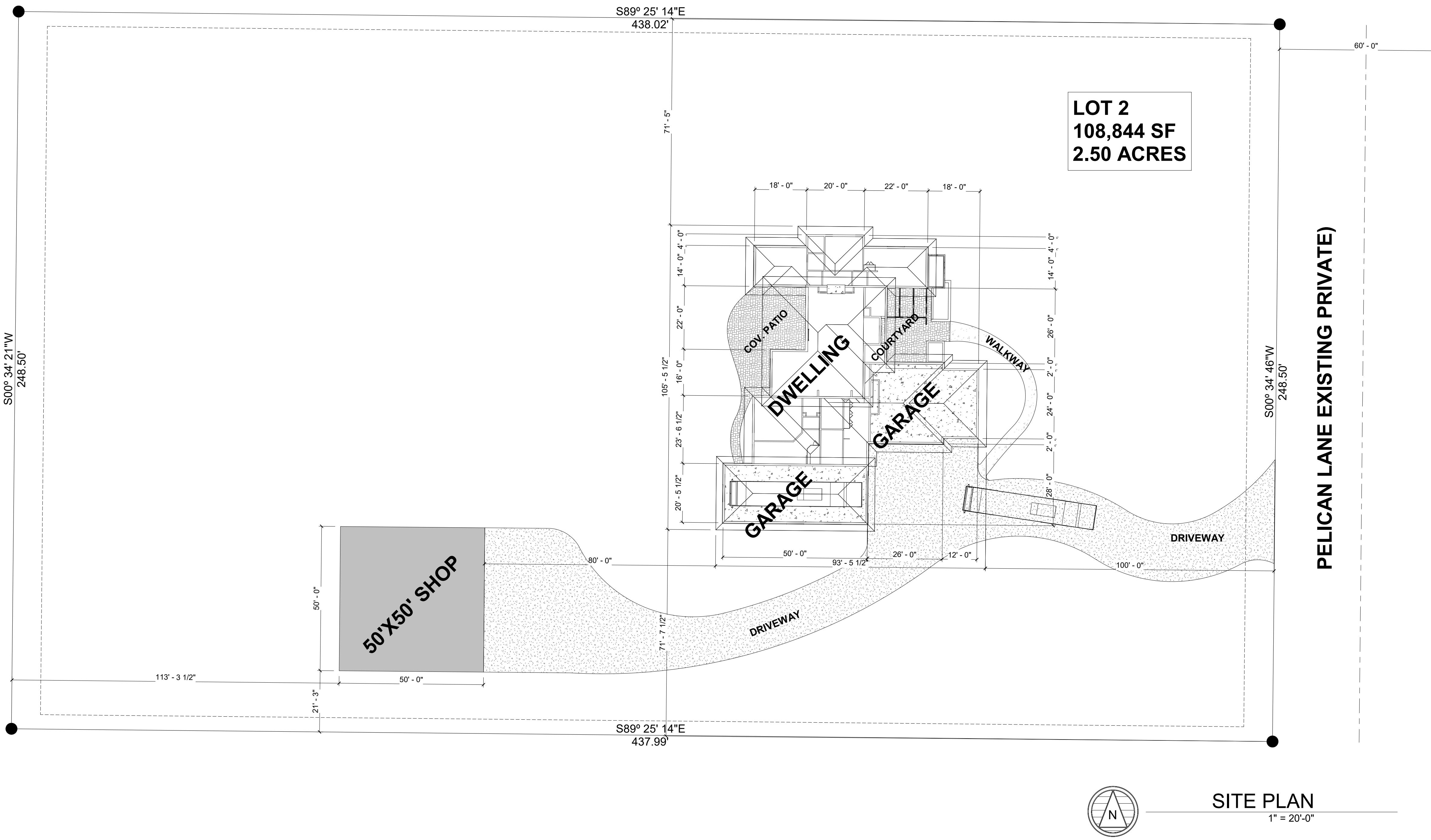
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GENERAL NOTES

1. ALL SETBACKS AND EASEMENTS ARE TO BE LOCATED AND VERIFIED PRIOR TO CONSTRUCTION.
2. FINISH GRADE SHALL SLOPE AWAY FROM THE FOUNDATION 5% FOR THE FIRST 10-FT. AND 2% THEREAFTER.
3. UNLESS NOTED OTHERWISE, ALIGN DRIVEWAY FLATWORK W/ FOUNDATION. REFER TO FOUNDATION PLAN FOR PORCH, PATIO, AND OTHER EXTERIOR STOOPS AND WALKWAYS NOT DIMENSIONED ON SITE PLAN.
4. TYPICAL FLATWORK ELEVATIONS FOR GARAGE / DRIVEWAY:

STANDARD DEPTH GARAGE -
T.O. SLAB FLUSH w/ T.O. FOUNDATION AT REAR.
T.O. SLAB 4" BELOW T.O. FOUNDATION AT FRONT.

DWELLING DESIGN



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SITE PLAN

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008 S.F. 4BED 3BA |
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NORTH ELEVATION

1/4" = 1'-0"



SOUTH ELEVATION

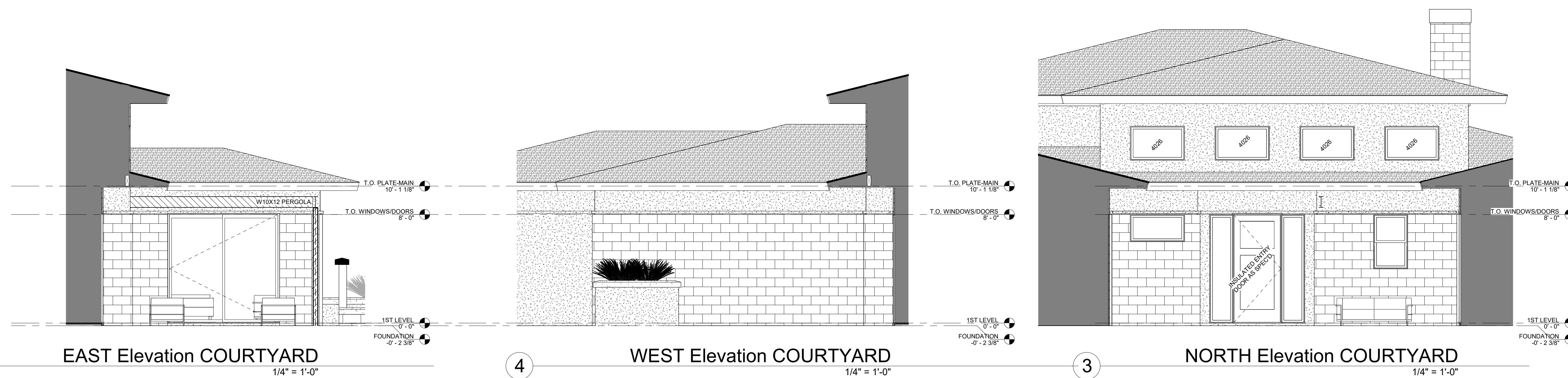
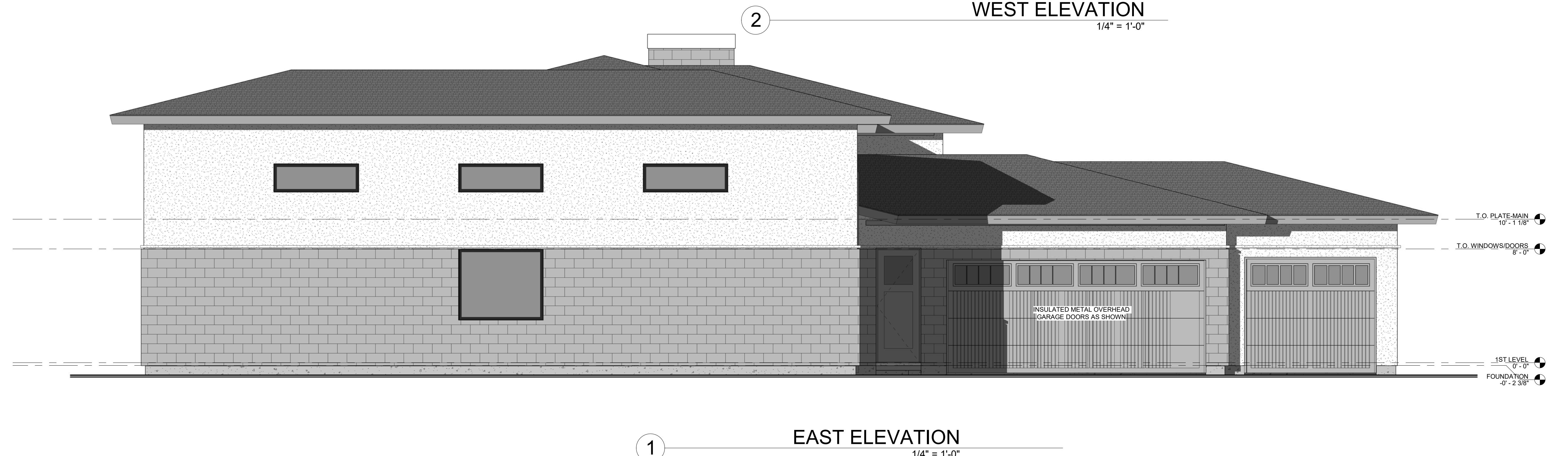
1/4" = 1'-0"

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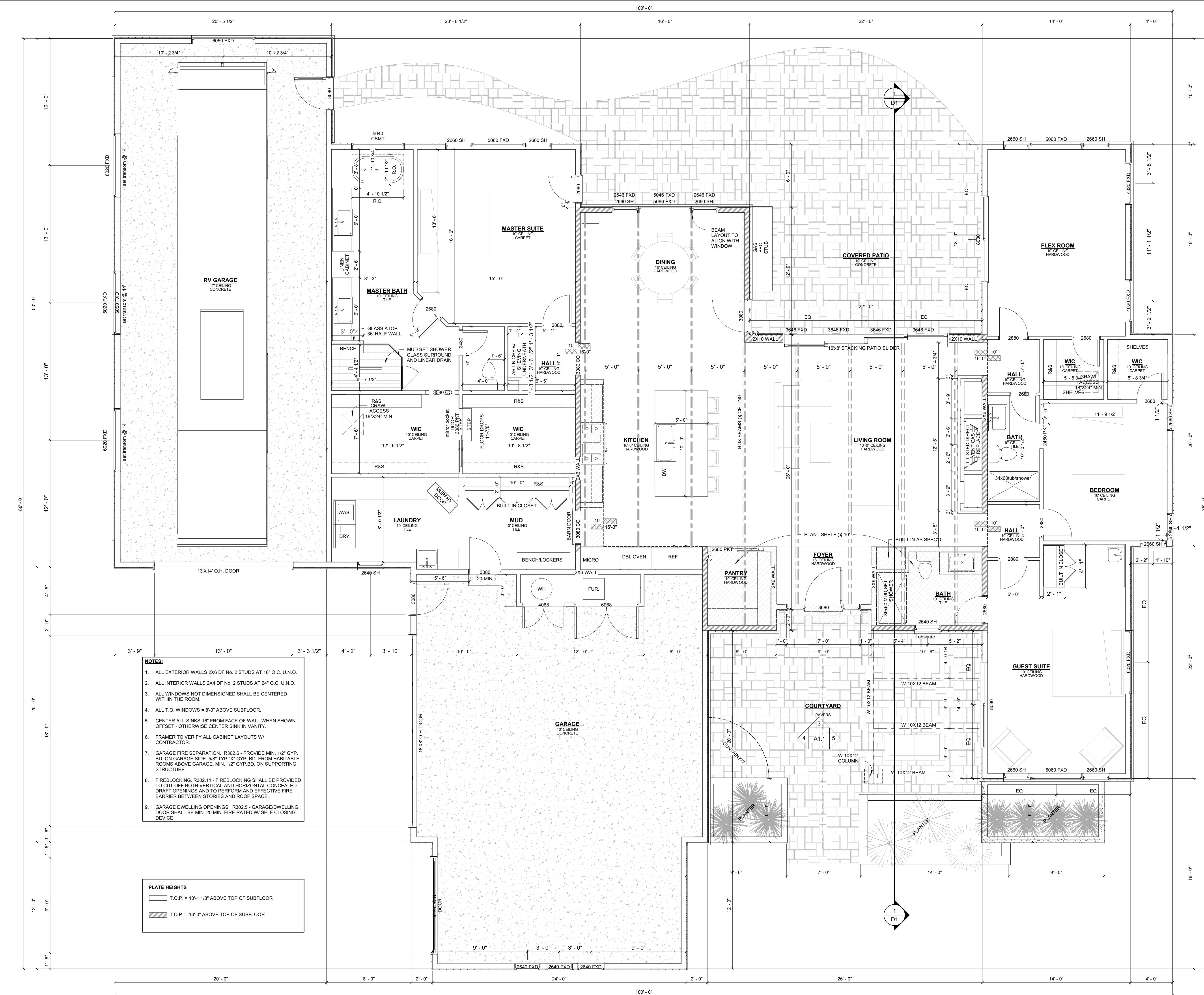
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FIRST FLOOR PLAN

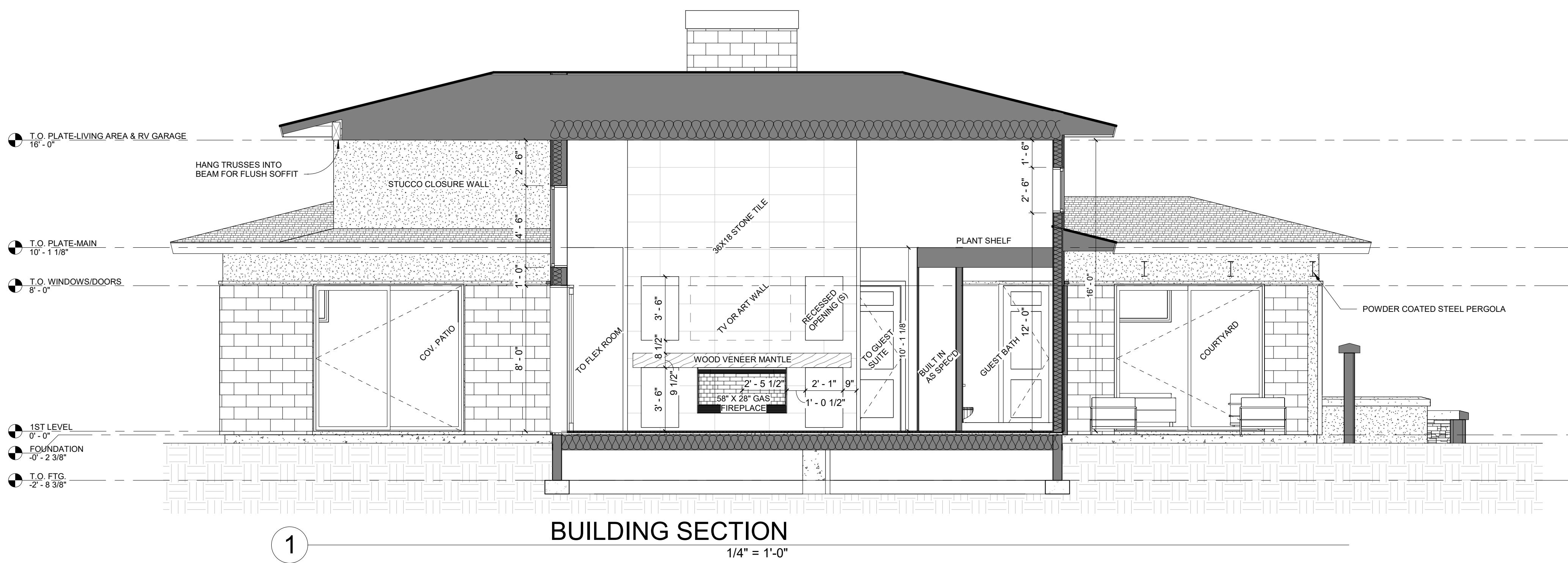
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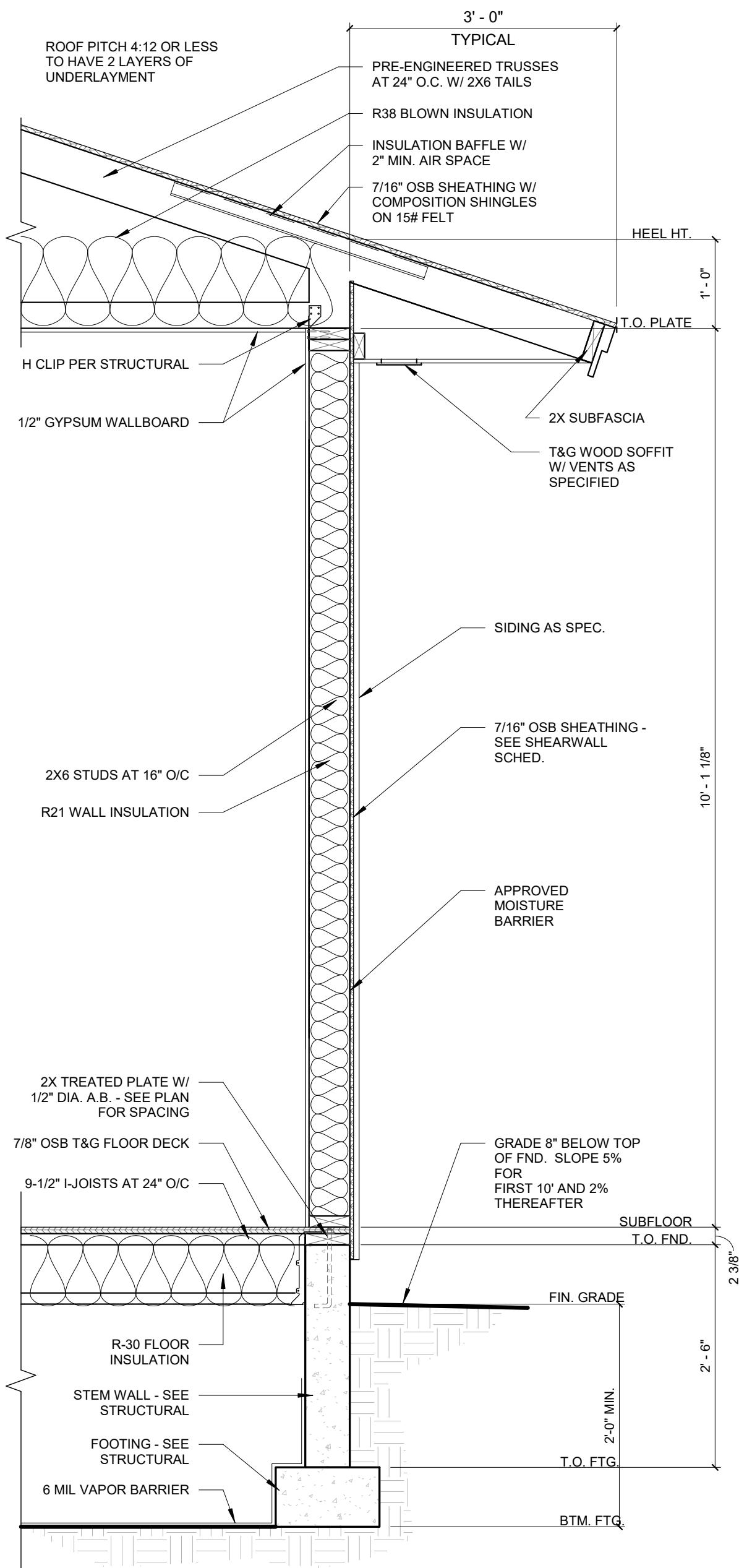
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ELECTRICAL SYMBOLS

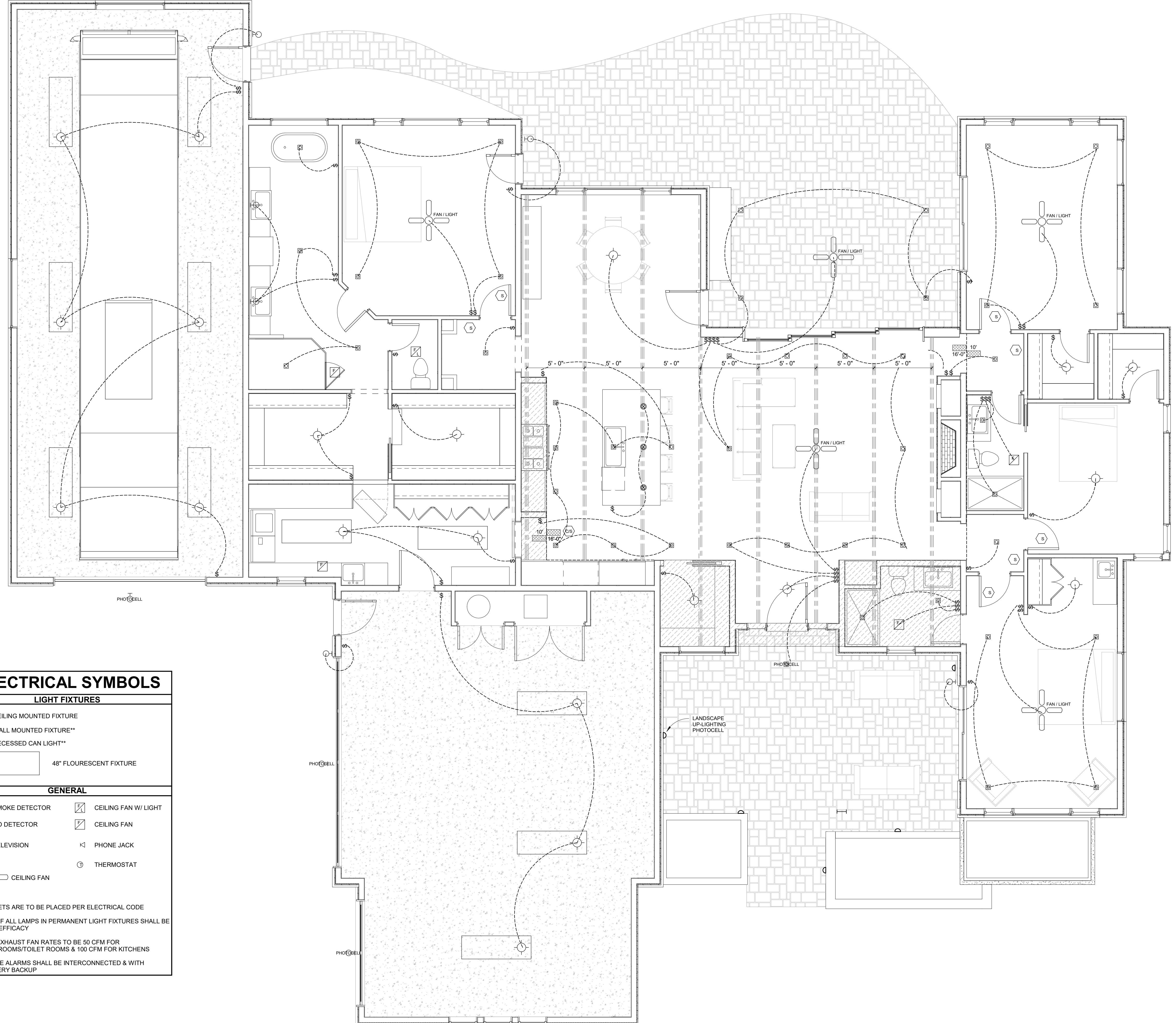
LIGHT FIXTURES

- CEILING MOUNTED FIXTURE
- WALL MOUNTED FIXTURE**
- RECESSED CAN LIGHT**
- 48" FLORESCENT FIXTURE

GENERAL

- SMOKE DETECTOR
- CO DETECTOR
- TV TELEVISION
- CEILING FAN
- CEILING FAN W/ LIGHT
- CEILING FAN
- PHONE JACK
- ① THERMOSTAT

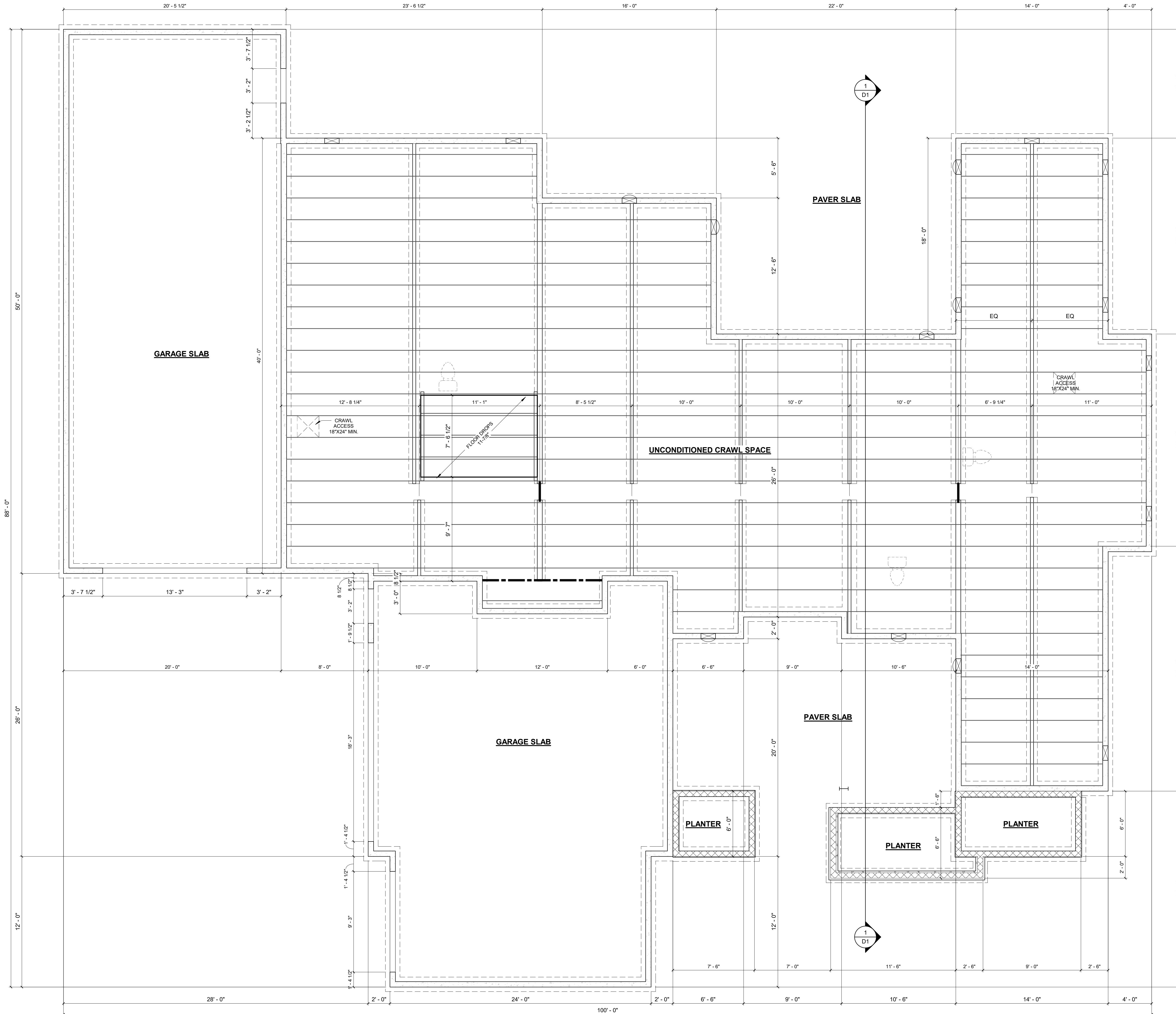
1. OUTLETS ARE TO BE PLACED PER ELECTRICAL CODE
2. 75% OF ALL LAMPS IN PERMANENT LIGHT FIXTURES SHALL BE HIGH EFFICACY
3. MIN. EXHAUST FAN RATES TO BE 50 CFM FOR BATHROOMS/TOILET ROOMS & 100 CFM FOR KITCHENS
4. SMOKE ALARMS SHALL BE INTERCONNECTED & WITH BATTERY BACKUP



**ELECTRICAL
PLAN**

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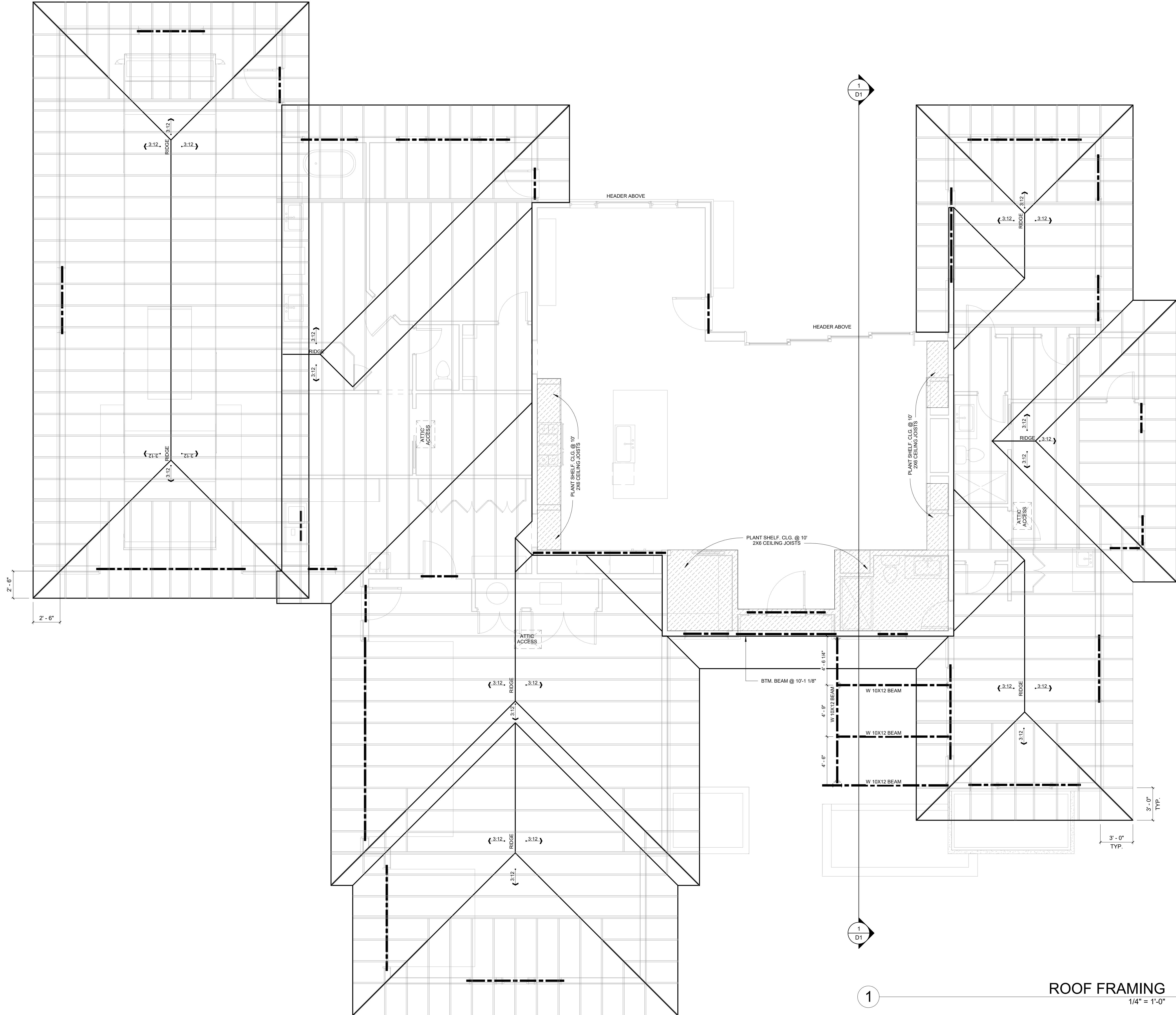
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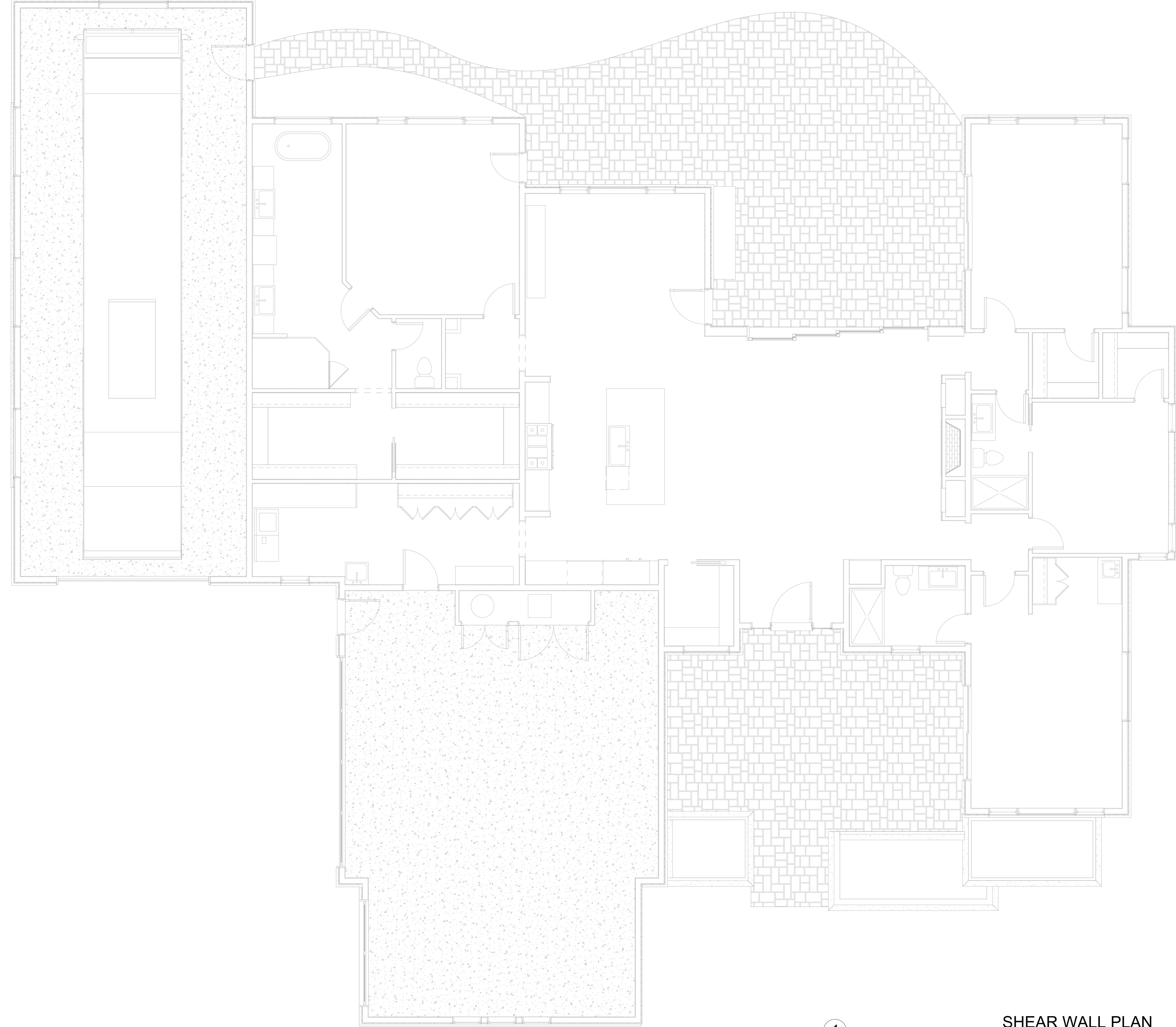
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FOUNDATION PLAN





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