

GENERAL NOTES:

CONTRACTOR TO VERIFY ALL DIMENSIONS, SPECIFICATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION.

ALL SETBACKS AND EASEMENTS TO BE VERIFIED BY THE BUILDING INSPECTOR PRIOR TO POURING CONCRETE.

REPORT ANY ERROR OR OMISSIONS TO BUILDING CONTRACTOR PRIOR TO REQUESTING FINAL INSPECTION.

ALL PUBLIC UTILITIES ARE AVAILABLE

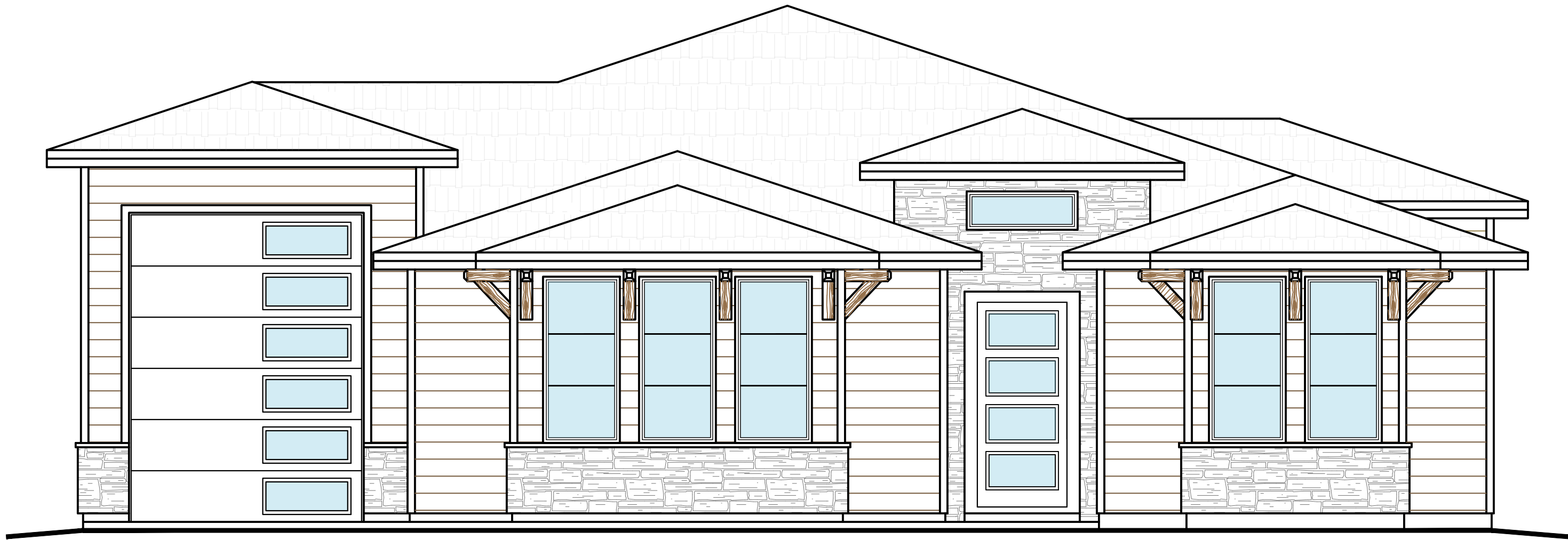
CONTRACTOR SHALL INSTALL HOUSE NUMBERS IN ACCORDANCE WITH LOCAL CODE AND IRC PRIOR TO REQUESTING FINAL INSPECTIONS.

SLOPE GRADE AWAY FROM HOUSE TO BE MIN 5% FOR 10’ IN EACH DIRECTION AND 2% THEREAFTER WHERE POSSIBLE

DESIGN CRITERIA:
CODES: IRC 2018, IECC 2018, IMC 2012, ISPC 2009, NEC 2017
FROST DEPTH: 24”
SEISMIC ZONE: C
CLIMATE ZONE: 5
BASIC WIND SPEED: 105 MPH
SOIL BEARING CAPACITY: 1500 PSF
ROOF LOADS: 25 PSF LIVE LOAD (SNOW) 17 PSF DEAD LOAD
FLOOR LOADS: 40 PSF LIVE, 17 PSF DEAD

LEGAL DESCRIPTION:

3264 N. FIRE FLOWER AVE. STAR IDAHO
TORCHLIGHT ESTATES SUB #1 LOT 03 BLOCK 01
STAR, ADA COUNTY, IDAHO



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SWAGGART RESIDENCE

TORCHLIGHT ESTATES #1
3264 N. FIRE FLOWER AVE
STAR, IDAHO

REVISION SCHEDULE

#	DESCRIPTION	DATE
1		

MAIN FLOOR AREA: 2,653 SF	
SECOND FLOOR AREA: 0 SF	
UNFINISHED AREA: 0 SF	
TOTAL CONDITIONED AREA:	2,653 SF
PORCH / PATIO AREA: 416 SF	
GARAGE AREA: 1,012 SF	
TOTAL AREA:	4,081 SF

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TORCHLIGHT
ESTATES
LOT 03 BLOCK 01

COVER SHEET

A0.0



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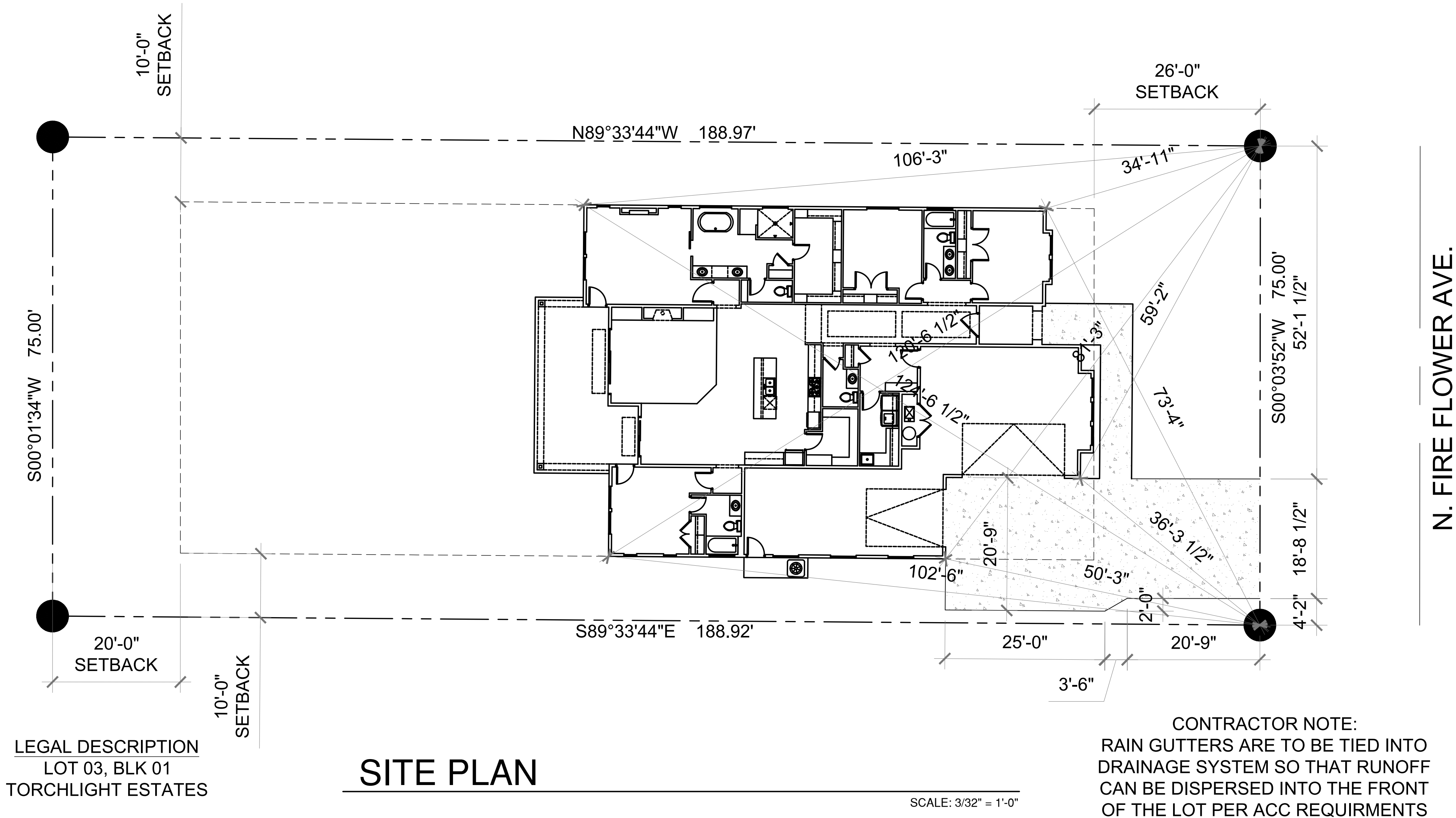
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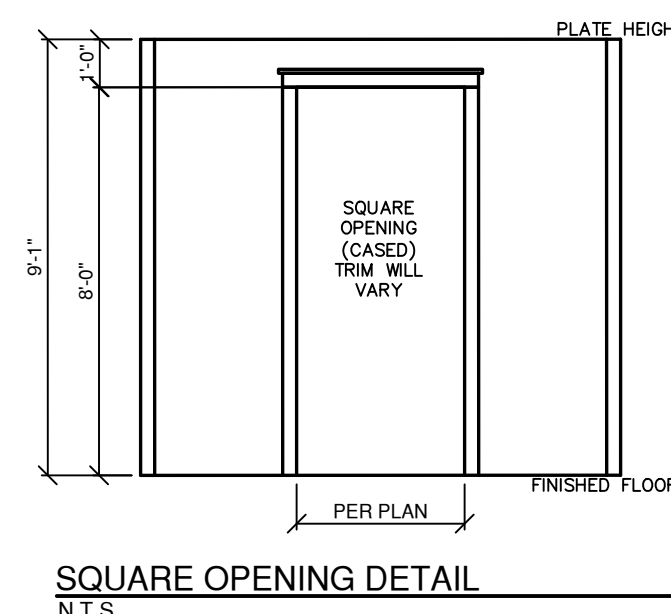
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TORCHLIGHT
ESTATES
LOT 03 BLOCK 01

SITE PLAN

A0.1

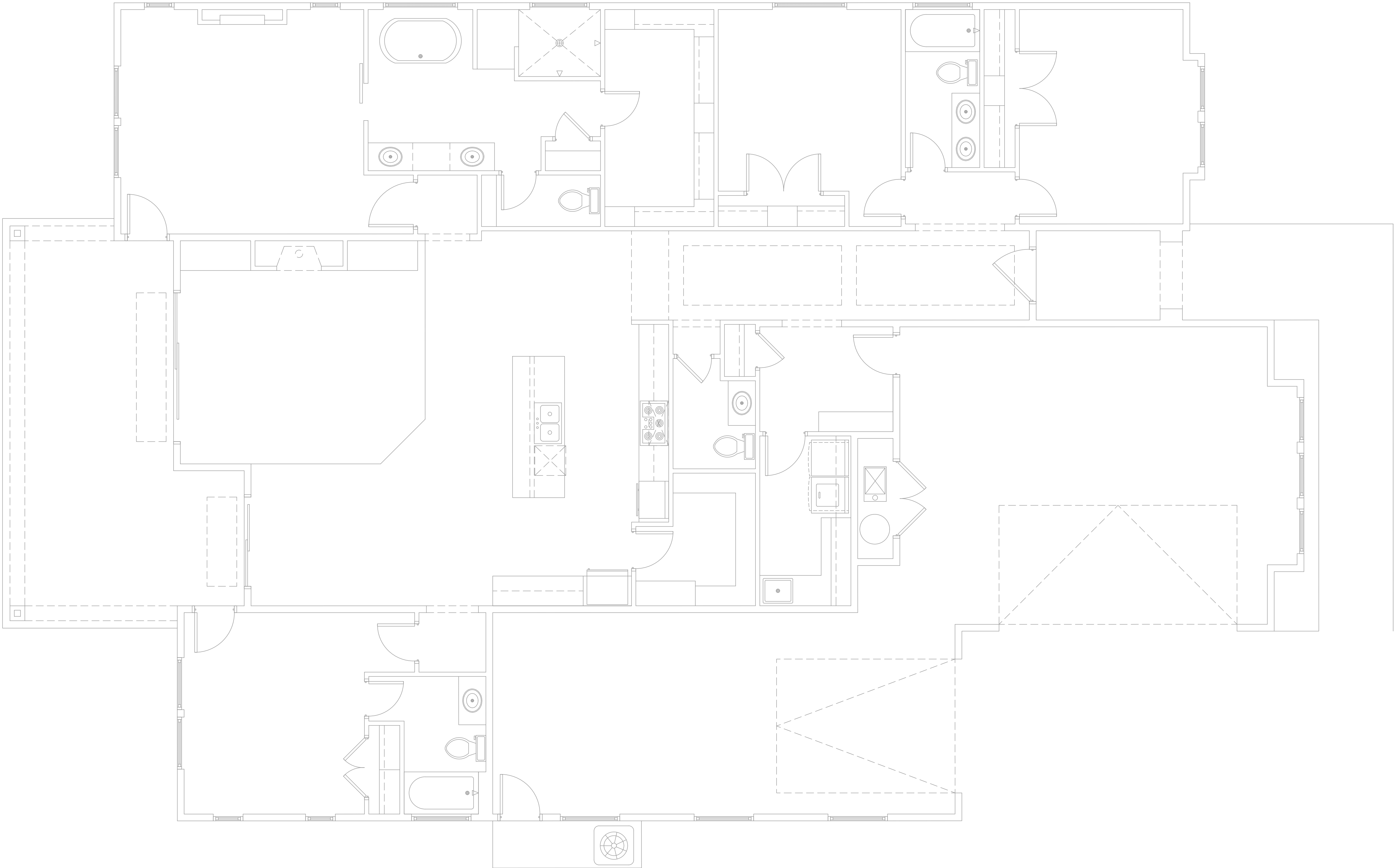






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WALL BRACING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

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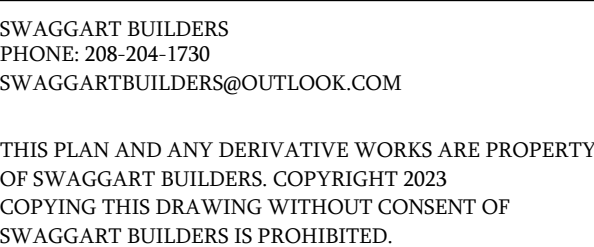
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TORCHLIGHT
ESTATES
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WALL BRACING

A1.1



TORCHLIGHT ESTATES #1
3264 N. FIRE FLOWER AVE
STAR, IDAHO

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SHEAR DETAILS

A1.2



NOTES: 1) SILL ANCHOR SPACING IS UNDER SHEAR WALLS, SPACE ALL OTHER EXTERIOR SILL ANCHORS @ 4'-0" O.C.
2) IF SHEARWALL REQUIRES HOLDOWNS, USE WOOD MEMBER FROM HOLDOWN SCHEDULE IN PLACE OF END MEMBERS
3) FULL HEIGHT TRUSS BLOCKING REQUIRED AT ALL SHEARWALLS WITH TRUSS HEEL HEIGHTS OVER 9.25' TALL. NAIL ROOF DIAPHRAGM TO EACH BLOCKING WITH 8d AT 6" O.C., TOE NAIL EACH BLOCKING TO TOP PLATES WITH (4) 16d COMMON NAILS.
4) USE "SIMPSON" H2.5A AT EACH TRUSS TO TOP PLATES/BEAM U.N.O.
5) ALL NAILS COMMON NAILS UNLESS NOTED OTHERWISE

NOTES: (1) #4 HORIZ. REBAR REQUIRED TOP AND BOTTOM OF STEINWALL AT ALL HOLDOWNS (3" CLEAR), MINIMUM REBAR LENGTH = 60", CENTER REBAR AT HOLDOWN AT CORNERS BEND REBAR AT CENTER OF 60" LENGTH, EXTEND REBAR 30" EACH WAY.

(2) AT SIMPSON HDU11-SDS2.5 HOLDOWNS USE (2) #4L VERTICAL BARS, (1) AT EACH HOLDOWN, HOOK VERTICAL #4L BARS INTO FOOTING.





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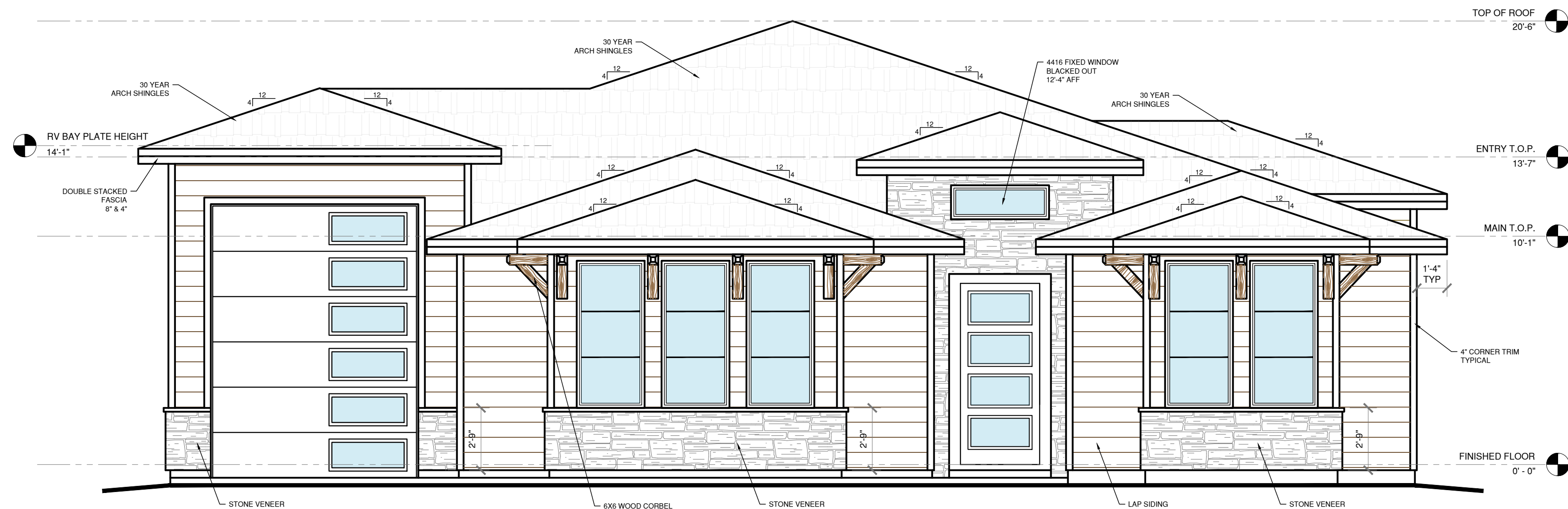
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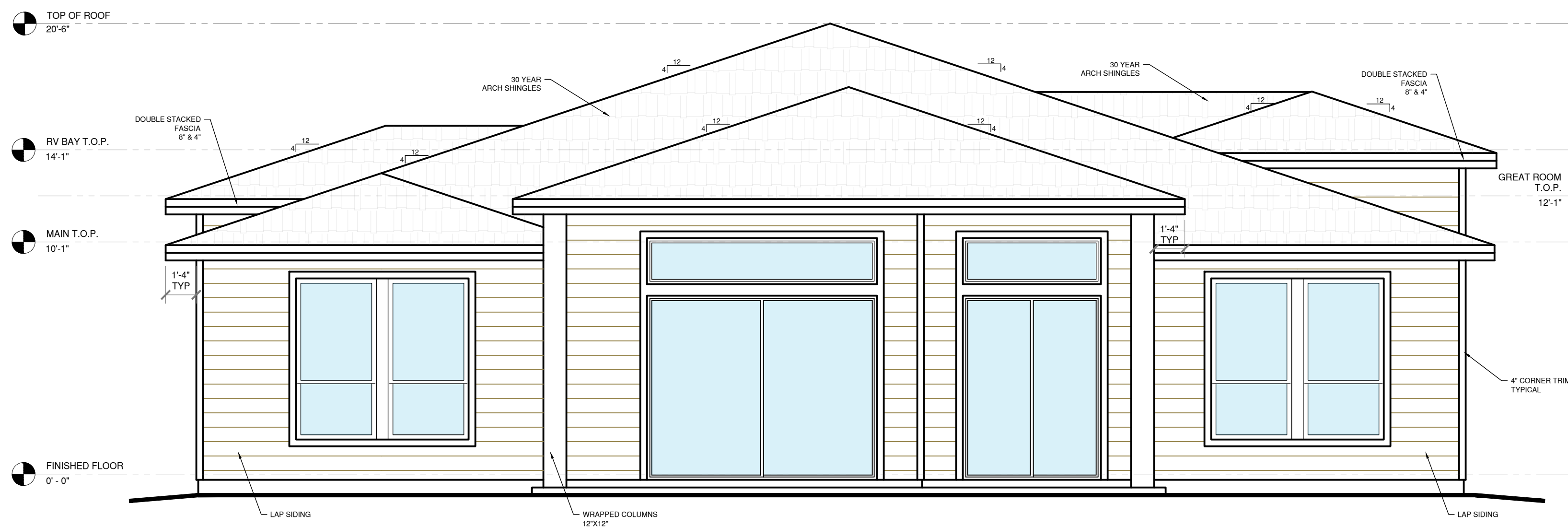
ELEVATIONS

A2.0



FRONT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



REAR ELEVATION

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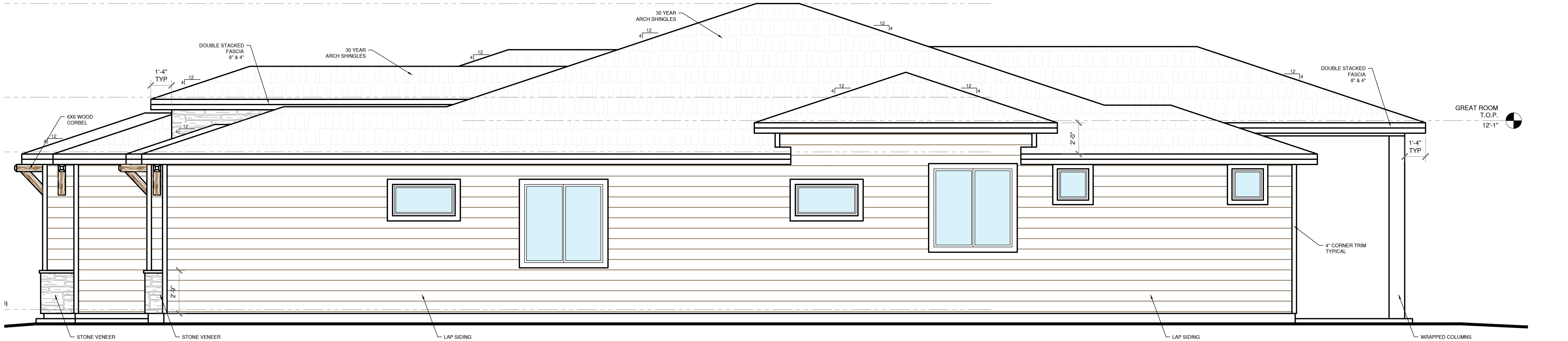
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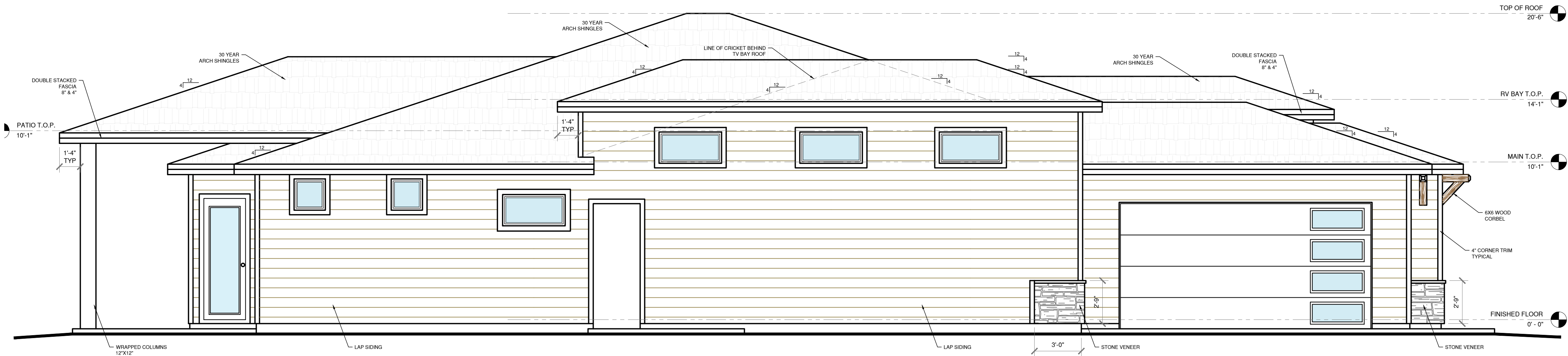
ELEVATIONS

A2.1



RIGHT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



LEFT ELEVATION

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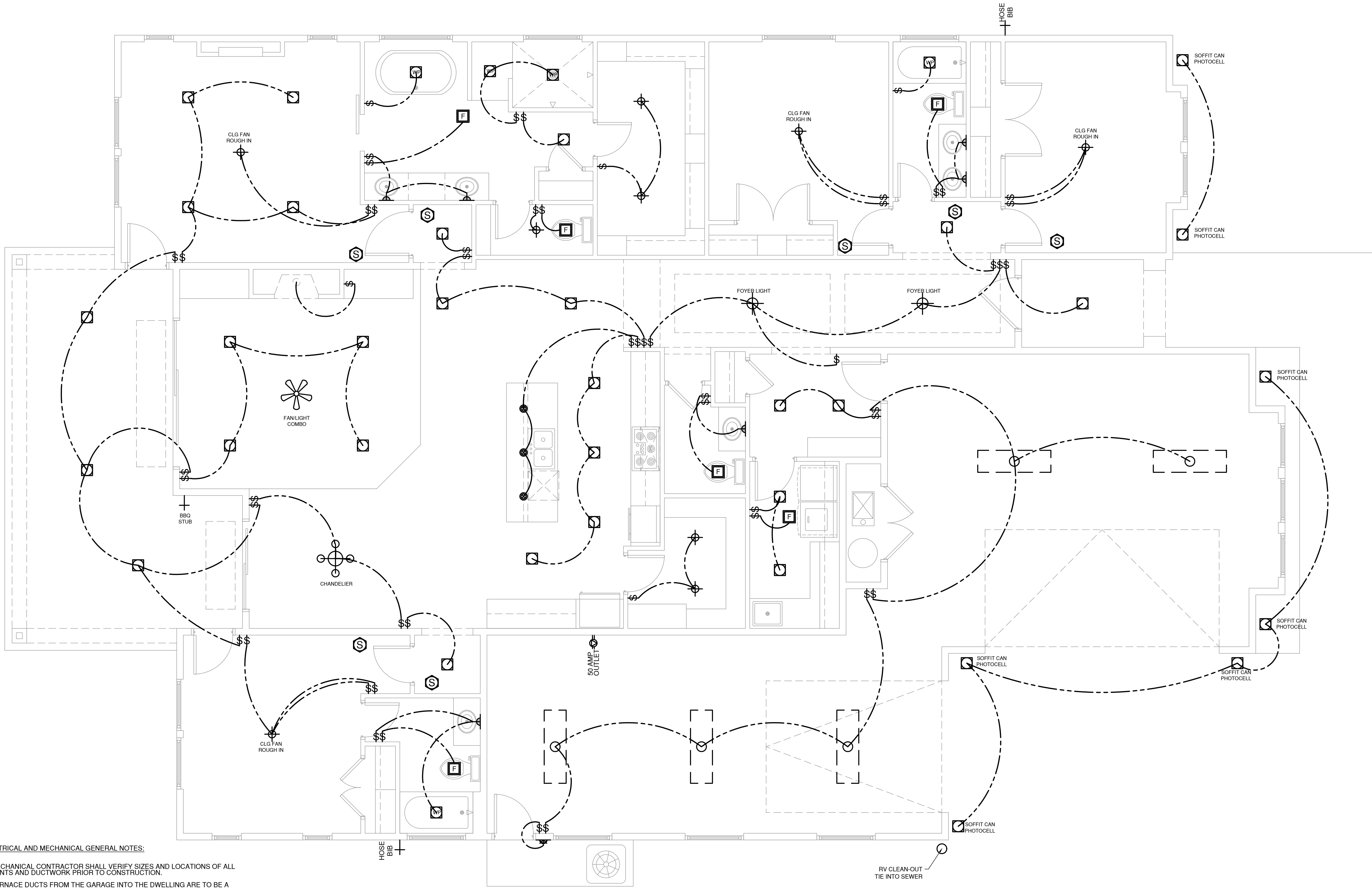
ELECTRICAL PLAN

E1.0

ELECTRICAL LEGEND	
ID	DESCRIPTION
	SMOKE / CO2 DETECTOR
	EXHAUST FAN
	POLE SWITCH
	SINGLE POLE SWITCH W/ DIMMER
	110v OUTLET - DUPLEX RECEPTACLE
	110v OUTLET - QUADRUPLE RECEPTACLE
	220v OUTLET - SPECIAL PURPOSE RECEPTACLE
	RECESSED CAN LIGHTING - FLUSH MOUNTED
	PENDULUM LIGHTING - SUSPENDED FROM CEILING
	STANDARD LIGHTING - CEILING MOUNTED
	STANDARD SCENCE - WALL MOUNTED
	PUCK LIGHTING
	EXTERIOR SCENCE - WALL MOUNTED
	FLUORESCENT FIXTURE - CEILING MOUNTED
	CEILING FAN

ELECTRICAL AND MECHANICAL GENERAL NOTES:

- MECHANICAL CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL VENTS AND DUCTWORK PRIOR TO CONSTRUCTION.
- FURNACE DUCTS FROM THE GARAGE INTO THE DWELLING ARE TO BE A MINIMUM OF 26 GAUGE GALVANIZED SHEET METAL WITH NO OPENINGS INTO GARAGE. FIRESTOP AND SEAL AROUND DUCT PENETRATIONS.
- FURNACES, HEAT PUMPS, WATER HEATERS AND OTHER MECHANICAL EQUIPMENT AS WELL AS GAS PIPING LOCATED IN GARAGE ARE TO BE PROTECTED FROM AUTOMOBILE IMPACT. SEE MECHANICAL INSPECTOR FOR PROTECTION REQUIREMENTS.
- APPLIANCES INSTALLED IN GARAGE GENERATING A SPARK, GLOW OR FLAME MUST KEEP PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES A MINIMUM OF 18" ABOVE FLOOR SURFACE.
- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN REQUIRED FOR OVERCURRENT PROTECTION. ALL SMOKE DETECTORS ARE TO BE WIRED TOGETHER ON ONE CIRCUIT AND DESIGNED FOR ALL DETECTORS TO SOUND IF ONE DETECTOR IS ACTIVATED.
- IN BATHROOMS, WATER CLOSET COMPARTMENTS AND LAUNDRY ROOMS PROVIDE A MECHANICAL FAN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR OR OPERABLE WINDOW. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
- MIN. 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

PRESCRIPTIVE ENERGY CODE COMPLIANCE

THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC)

TABLE N1102.1						
INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT						
CLIMATE ZONE	WINDOW U-FACTOR	CEILING R-VALUE	WOOD WALL R-VALUE	FLOOR R-VALUE	SLAB R-VALUE	MECHANICAL DUCTING
5	0.35	38	21 (or) 13+5	30	10, 2FT	8

SEE MANUAL J VALUES



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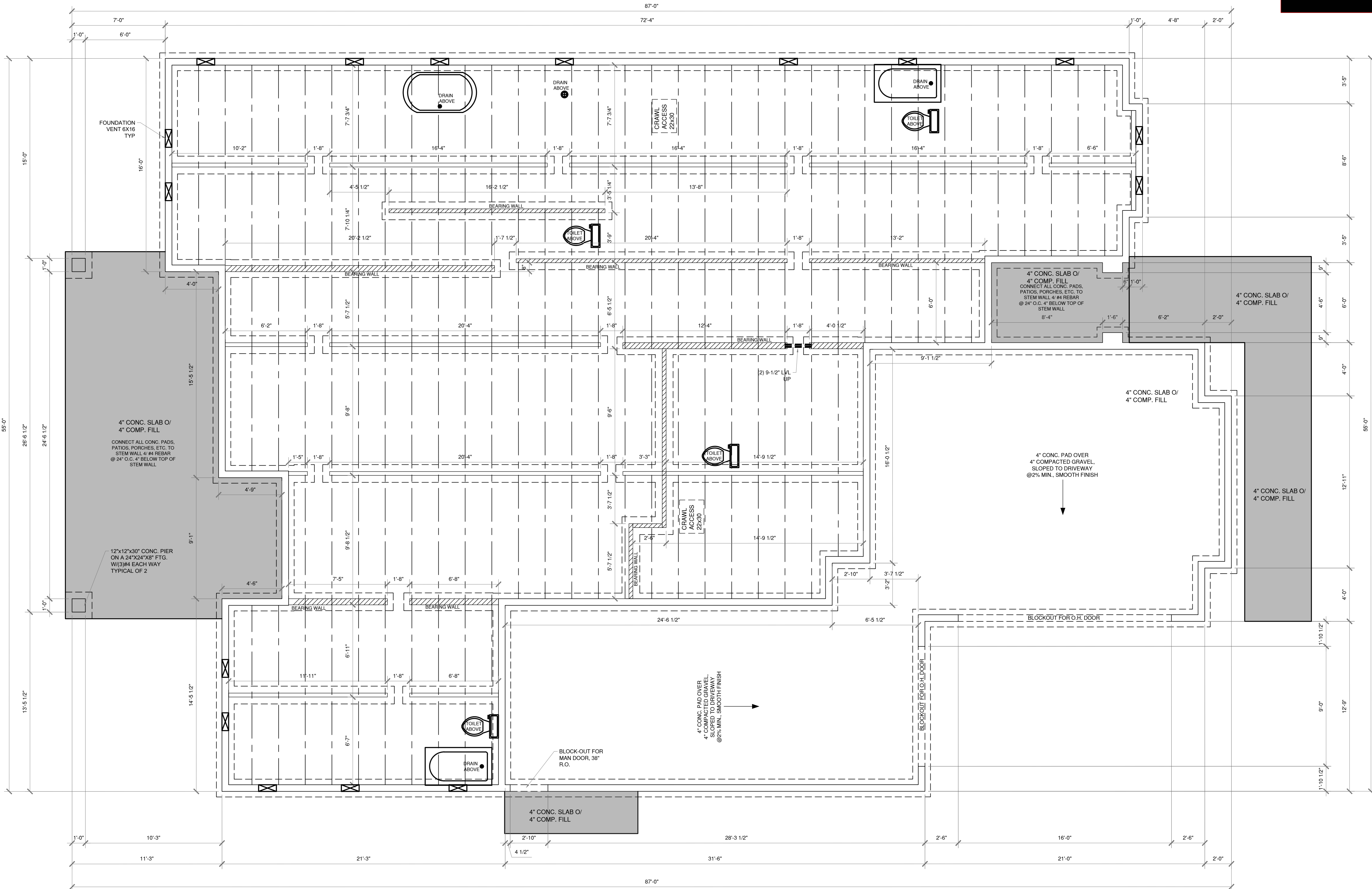
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TORCHLIGHT
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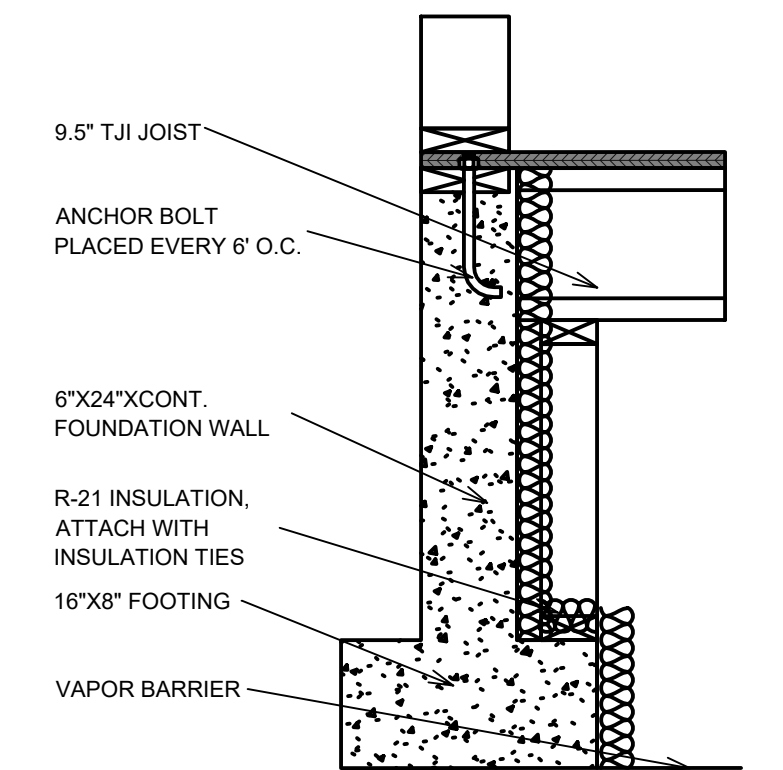
FOUNDATION PLAN

S1.0



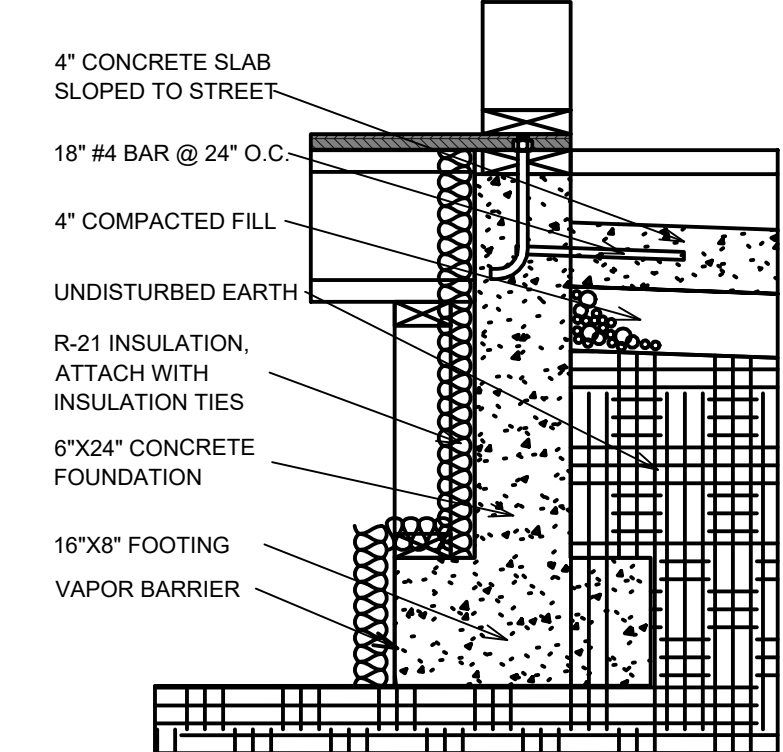
2 PONY WALL DETAIL

1" = 1'-0"



3 STEM WALL DETAIL

1" = 1'-0"



4 TYPICAL FOUNDATION SECTION

1" = 1'-0"

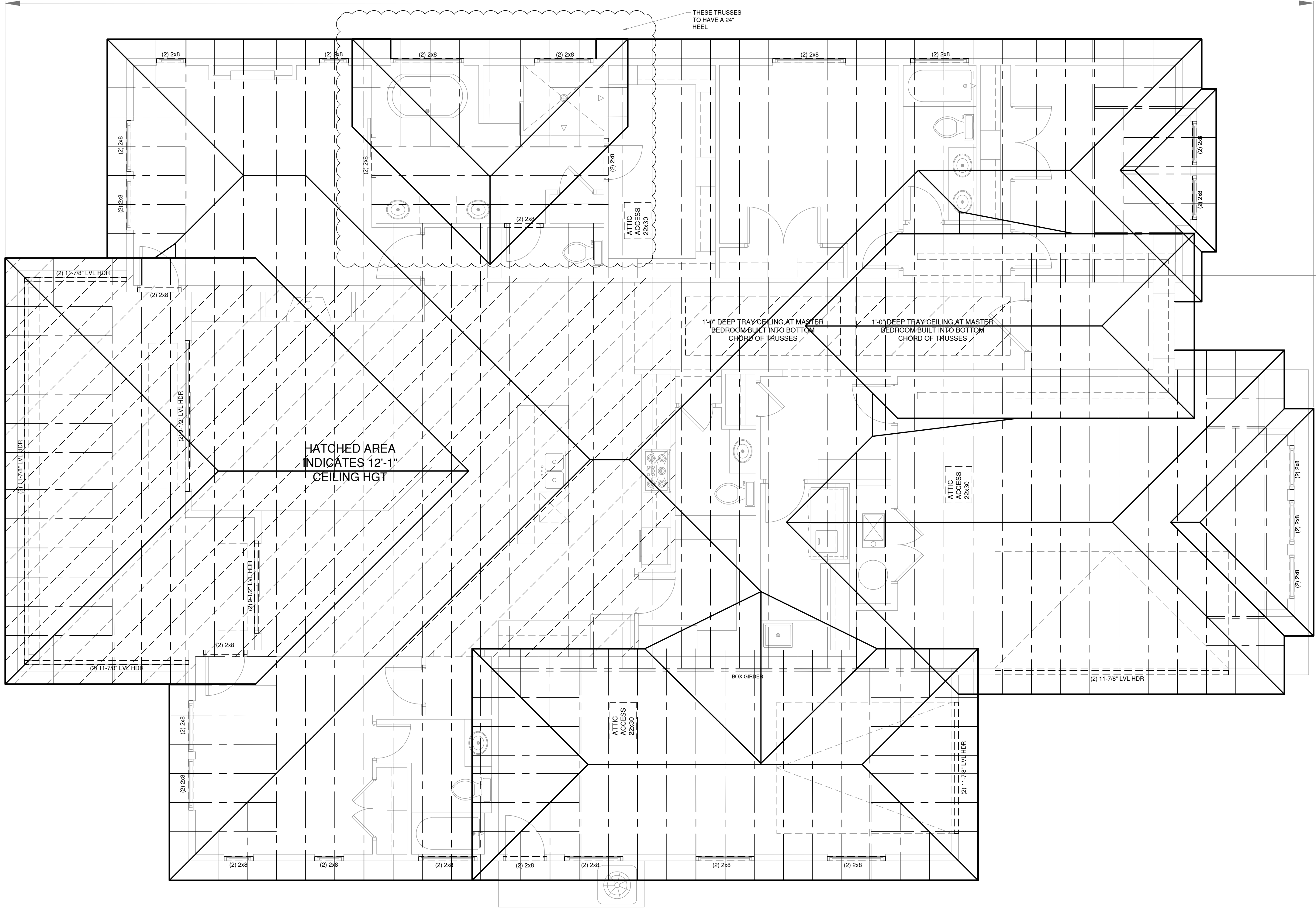
- FLOOR FRAMING NOTES:
1. PROVIDE MINIMUM 18" CRAWL SPACE CLEARANCE UNDER GIRDERS AND MINIMUM 24" CLEARANCE UNDER FLOOR JOISTS
 2. COVER ENTIRE CRAWLSPACE AND INSIDE FACE OF STEM WALLS UP TO SILL PLATE WITH 6 MIL. VISQUEEN TO CREATE A "BLADDER SYSTEM". SEAL ALL SEAMS W/ 4" VYCOR TAPE.
 3. UNLESS OTHERWISE NOTED ON PLANS, USE 7/8" T&G OSB DECKING OVER 9-1/2" FLOOR JOISTS @ 24" O.C. (13'-9" MAX. CLEAR SPAN). FRAMING SUB-CONTRACTOR MAY NEED TO ADJUST JOIST SPACING AS REQUIRED FOR PLUMBING ITEMS THAT REQUIRE A DRAIN PENETRATING FLOOR SURFACE ABOVE.
 4. PONY WALLS ARE 24" CONSTRUCTION @ 24" O.C. UNLESS NOTED OTHERWISE. ALIGN STUDS UNDER JOISTS. ADDITIONAL 2x4 STUDS MAY BE REQUIRED IN PONY WALLS FOR ROOF-BEARING POINT LOADS.
 5. ALL WOOD COMING INTO CONTACT WITH CONCRETE TO BE PRESSURE-TREATED WOOD OR EQUALLY WATER RESISTANT PER CODE.
 6. PROVIDE R-19 INSULATION BETWEEN FLOOR JOISTS OVER ALL UNHEATED AREA.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. (SEE MANUFACTURE'S TRUSS PACKET AND ENGINEERING)



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

ROOF FRAMING NOTES:

1. BUILDER RESERVES THE RIGHT TO CHANGE PLANS TO MEET CURRENT BUILDING CODES
2. (2)2x8 DF HEADERS @ ALL OPENINGS LESS THAN 5'-0" IN WIDTH U.N.O.
3. (2)2x10 DF HEADERS @ ALL OPENINGS GREATER THAN 5'-0" IN WIDTH U.N.O.
4. REFER TO ELEVATIONS FOR ADDITIONAL INFO
5. PROVIDE ATTIC VENTILATION USING GABLE VENTS AND/OR RIDGE VENTS PER LOCAL CODES
6. PROVIDE SCREENED SOFFIT VENTILATION AT EAVES PER LOCAL CODES
7. ROOF COVERING TO CONSIST OF 30 YEAR ARCHITECTURAL SHINGLES OR BETTER

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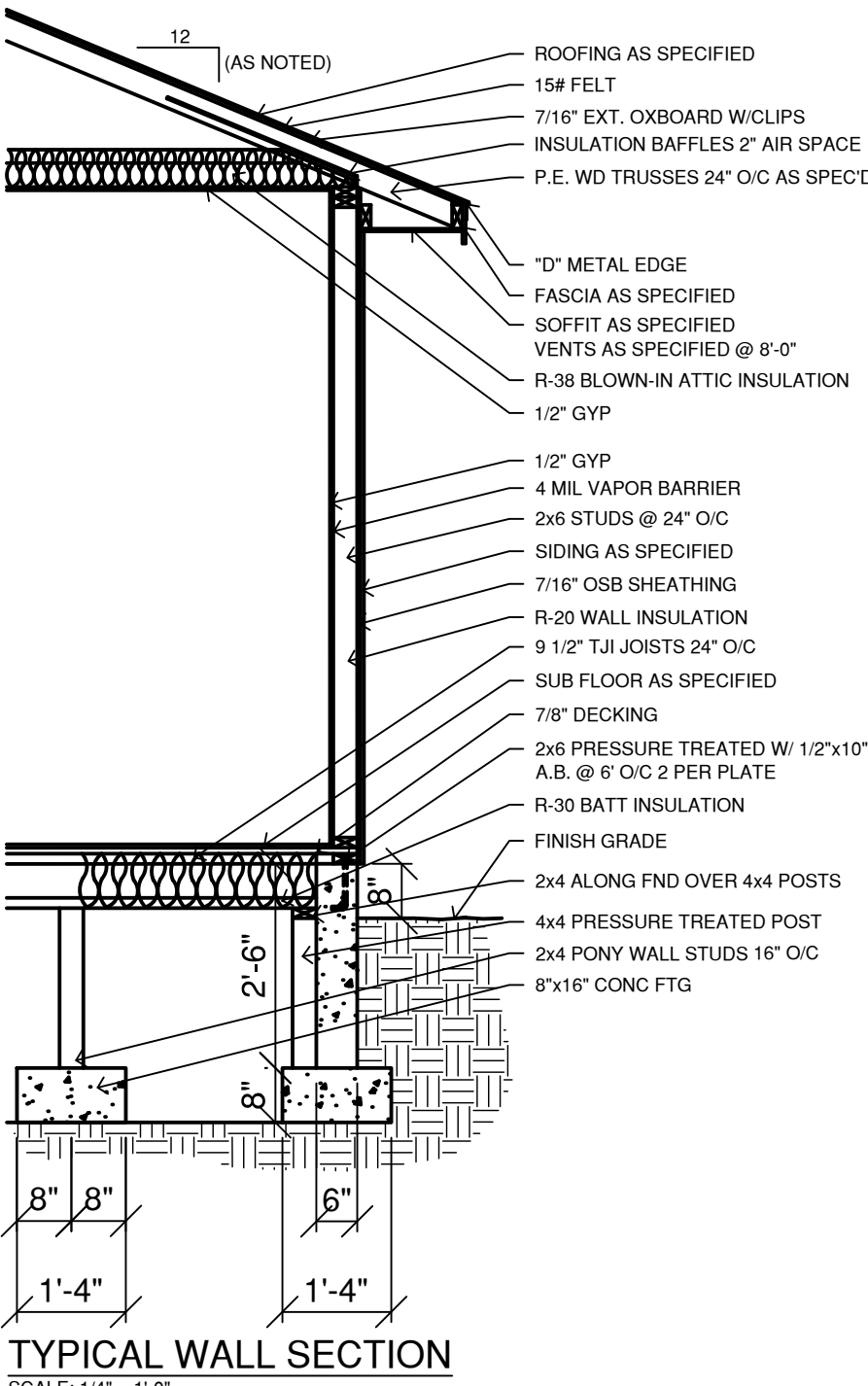
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TORCHLIGHT
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ROOF FRAMING

S2.0



NOTES:
• PER CODE R703.2 WATER RESISTANCE HOUSE WRAP PER CODE REQUIREMENTS.
• PER CODE R703.8 FLASHING, FLASHING NEEDS TO BE ADDED AROUND WINDOW AND DOOR OPENINGS PER MANUFACTURER SPEC'S.



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ROOF PLAN

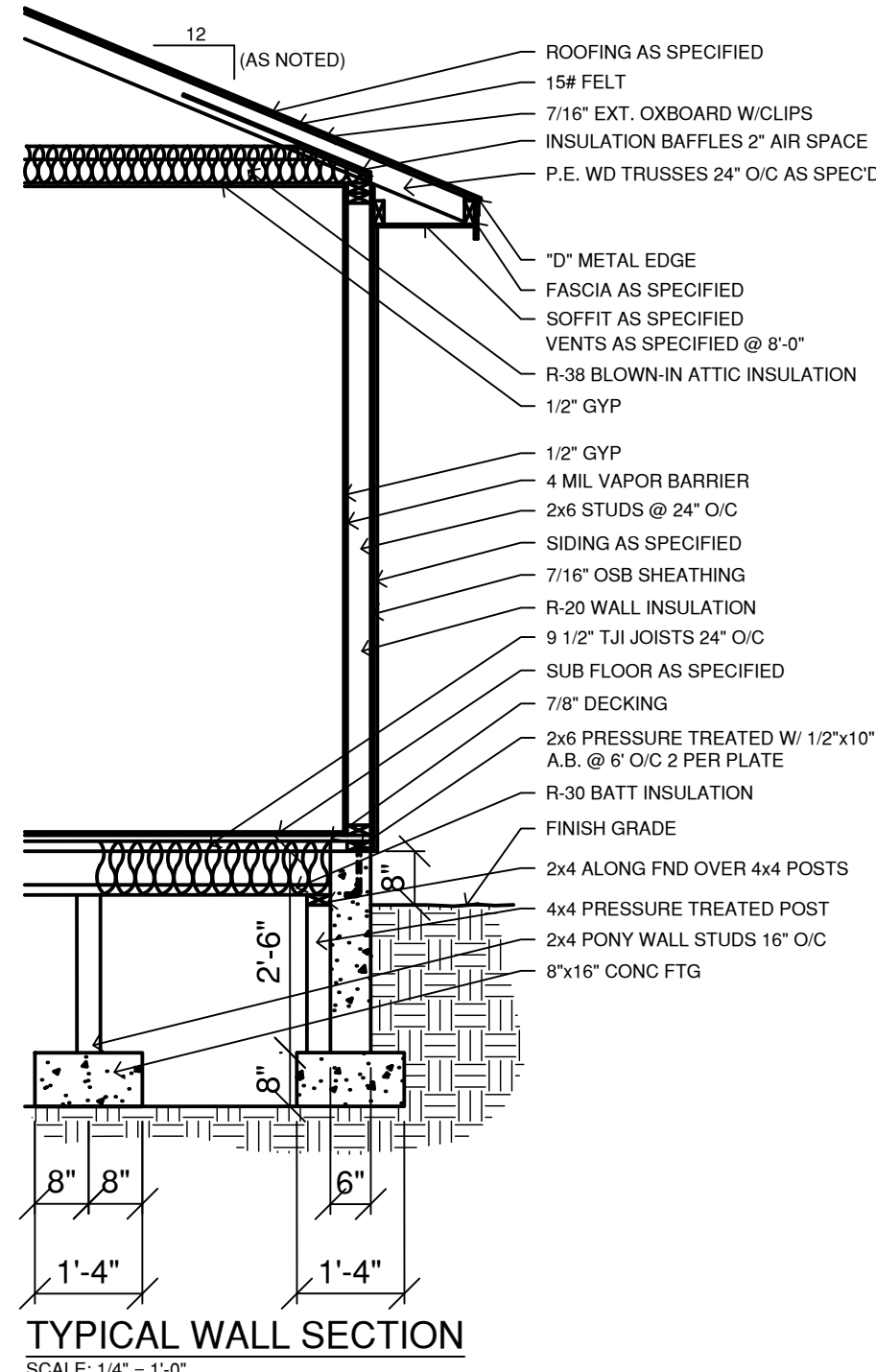
S3.0

ATTIC VENTILATION CALCULATION

AREA 1 -
4081 SQ. FT. / 150 = 27.20 SQ. FT OR 3916.80 SQ. IN.
VENTILATION REQUIRED
* 386 LINEAL FEET OF SOFFIT VENT = 3860 SQ. IN.
* 15 ROOF VENTS = 750 SQ. IN.

ROOF VENTS + SOFFIT VENTS = 4,610 SQ IN
VENTING (3917 SQ IN REQ)

NOTES:
* CONTINUOUS SOFFIT VENT PROVIDES 10 SQ. IN. VENTILATION PER FOOT OF SOFFIT
* ROOF VENTS PROVIDE 50 SQ IN OF VENTILATION PER VENT



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ROOF FRAMING PLAN

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