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SWAGGART RESIDENCE

TORCHLIGHT ESTATES #1
3264 N. FIRE FLOWER AVE
STAR, IDAHO

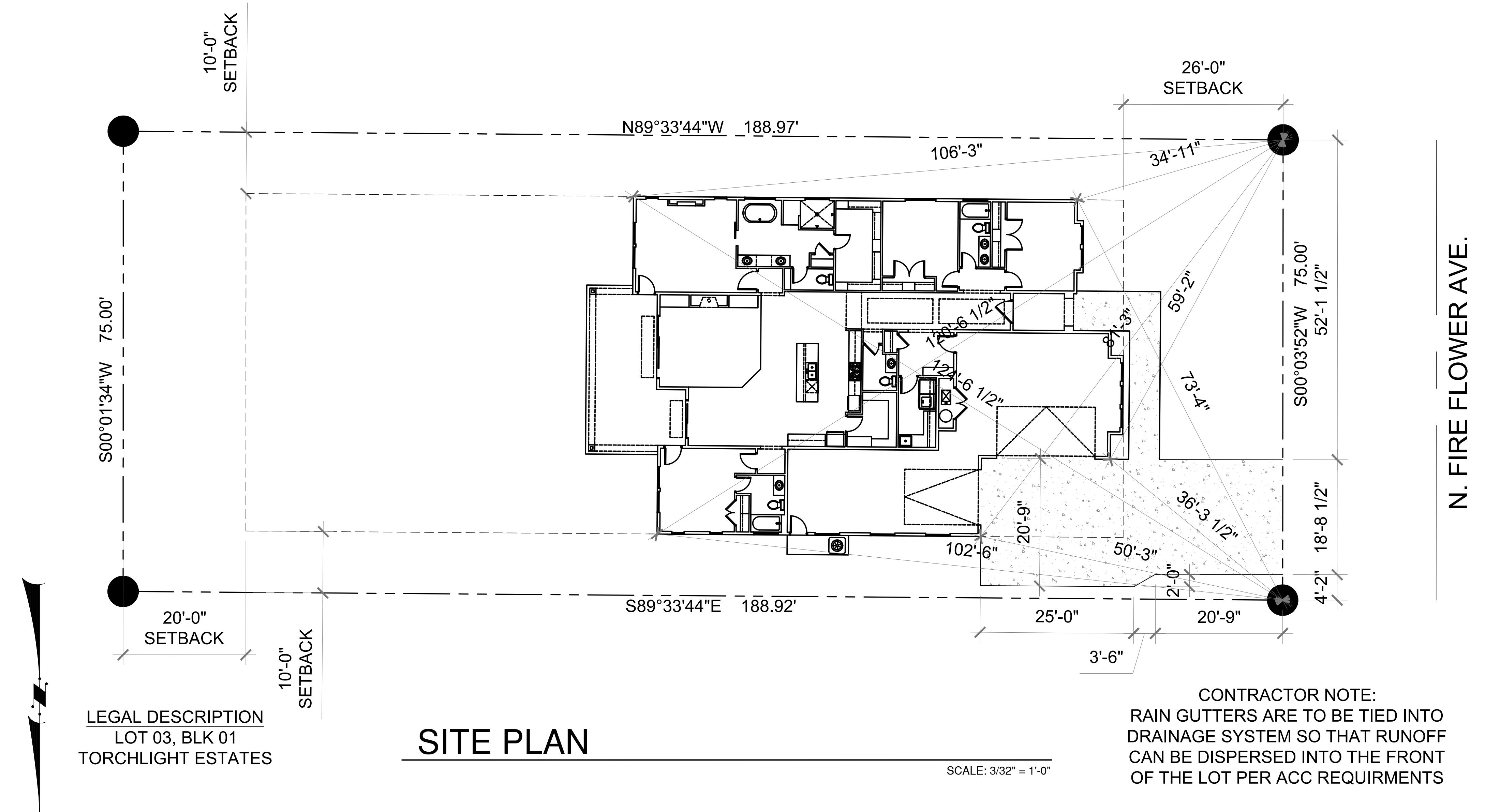
REVISION SCHEDULE

MAIN FLOOR AREA:	2,653 SF
SECOND FLOOR AREA:	0 SF
UNFINISHED AREA:	0 SF
TOTAL CONDITIONED AREA:	2,653 SF
PORCH / PATIO AREA:	416 SF
GARAGE AREA:	1,012 SF
TOTAL AREA:	4,081 SF

TORCHLIGHT ESTATES LOT 03 BLOCK 01

SITE PLAN

A0.1



LEGAL DESCRIPTION
LOT 03, BLK 01
TORCHLIGHT ESTATES

SITE PLAN

SCALE: 3/32" = 1'-0"

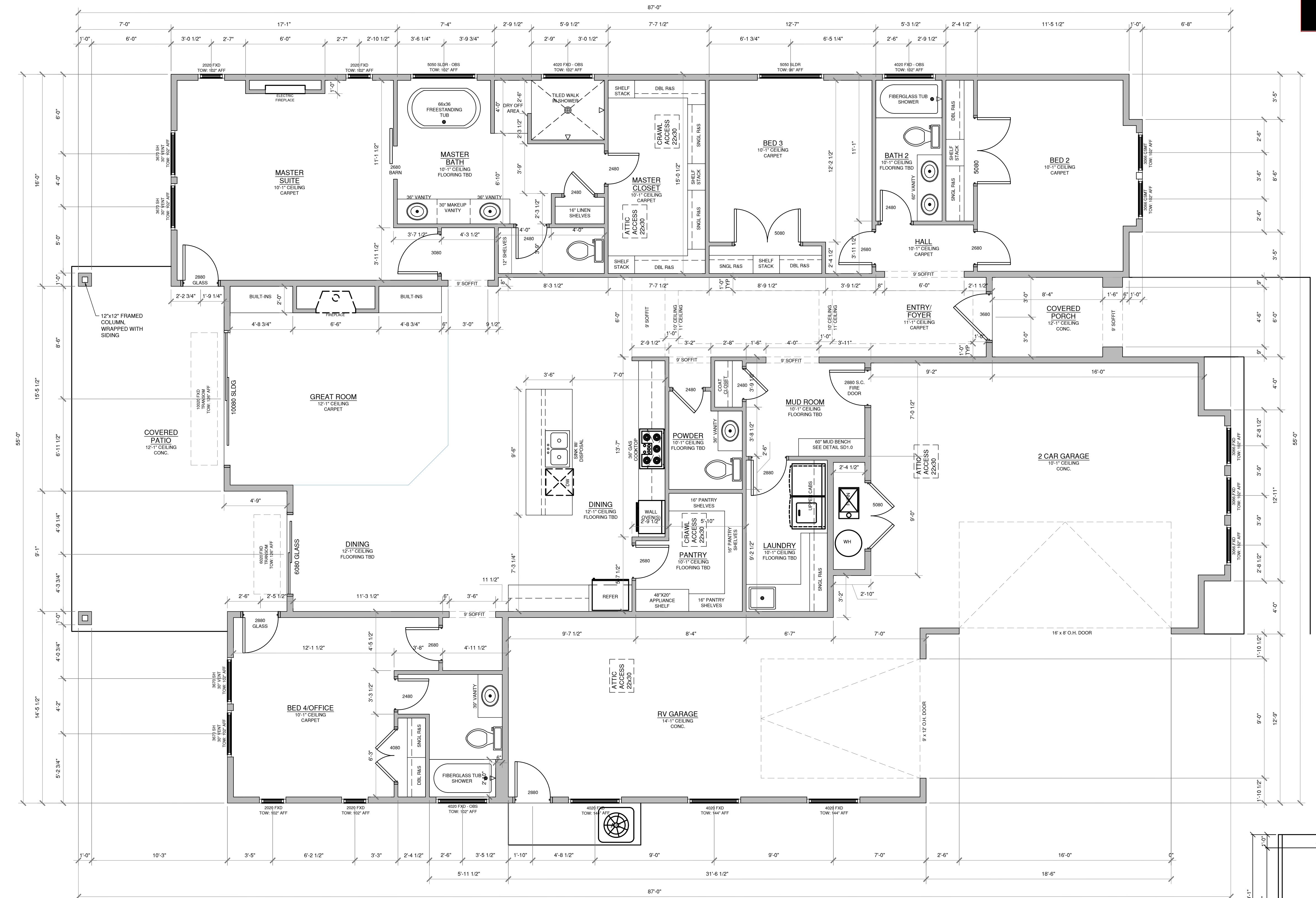
**CONTRACTOR NOTE:
RAIN GUTTERS ARE TO BE TIED INTO
DRAINAGE SYSTEM SO THAT RUNOFF
CAN BE DISPERSED INTO THE FRONT
OF THE LOT PER ACC REQUIREMENTS**



SWAGGART
BUILDERS

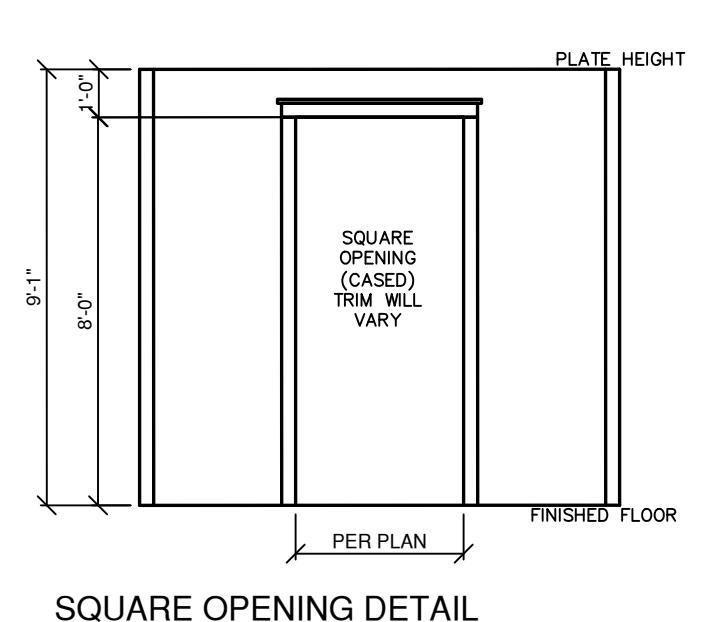
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APPROXIMATE SQUARE FOOTAGE

MAIN LEVEL	2,653	SQ FT
UPPER LEVEL	0	SQ FT
TOTAL LIVING AREA	2,653	SQ FT
COVERED PORCH/PATIO	416	SQ FT
GARAGE	1012	SQ FT
BUILDING TOTAL	4,081	SQ FT



SQUARE OPENING
DETAIL
N.T.S.

SWAGGART RESIDENCE

TORCHLIGHT ESTATES #1
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STAR, IDAHO

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1		

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TOTAL CONDITIONED AREA: 2,653 SF
PORCH/ PATIO AREA: 416 SF
GARAGE AREA: 1,012 SF
TOTAL AREA: 4,081 SF

BASE MODEL:	SWAGGART 2600 MODEL
DRAWN BY:	LS
REVISION COPY:	#6
REVISION DATE:	09/14/2023
PAPER SIZE:	36X24

**TORCHLIGHT
ESTATES
LOT 03 BLOCK 01**

MAIN FLOOR PLAN

A1.0



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**TORCHLIGHT ESTATES #1
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STAR, IDAHO**

REVISION SCHEDULE

MAIN FLOOR AREA: 2,653 SF	
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UNFINISHED AREA: 0 SF	
TOTAL CONDITIONED AREA:	2,653 SF
PORCH / PATIO AREA: 416 SF	
DETACHED GARAGE AREA: 1,012 SF	
TOTAL AREA:	4,081 SF

TORCHLIGHT ESTATES LOT 03 BLOCK 01

WALL BRACING

A1.1

WALL BRACING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



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**TORCHLIGHT ESTATES #1
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STAR, IDAHO**

EXTENT OF HEADER WITH DOUBLE PORTAL FRAMES (TWO BRACED WALL PANELS)

EXTENT OF HEADER WITH SINGLE PORTAL FRAME (ONE BRACED WALL PANEL)

2'-18' FINISHED WIDTH OF OPENING FOR SINGLE OR DOUBLE PORTAL FRAME

PONY WALL HEIGHT

MIN. 3" x 11.25" NET HEADER
STEEL HEADER PROHIBITED

FASTEN SHEATHING TO HEADER WITH 8d COMMON OR GALVANIZED BOX NAILS IN 3" GRID PATTERN AS SHOWN

HEADER-TO-JACK-STUD STRAP PER TABLE R602.10.6.4 ON BOTH SIDES OF OPENING OPPOSITE SIDE OF SHEATHING

MIN. DOUBLE 2X4 FRAMING COVERED WITH MIN 3/8" THICK WOOD STRUCTURAL PANEL SHEATHING WITH 8D COMMON OR GALVANIZED BOX NAILS AT 3" O.C. IN ALL FRAMING (STUDS, BLOCKING, AND SILLS) TYP.

MIN. LENGTH OF PANEL PER TABLE R602.10.5

MIN. DOUBLE 2X4 POST (KING AND JACK STUD). NUMBER OF JACK STUDS PER TABLES R502.5(1)&(2)

MIN. (2) 4200 LB STRAP-TYPE HOLD-DOWNS (EMBEDDED INTO CONCRETE AND NAILED INTO FRAMING)

MIN. REINFORCING OF FOUNDATION, ONE #4 BAR TOP AND BOTTOM OF FOOTING. LAP BARS 15" MINIMUM

MIN. FOOTING SIZE UNDER OPENING IS 12"x12". A TURNED-DOWN SLAB SHALL BE PERMITTED AT POOR OPENINGS

MIN. (1) 5/8" DIAMETER ANCHOR BOLTS INSTALLED PER R403.1.6 WITH 2"x2"x3/16" PLATE WASHER

12'-0" MAX TOTAL WALL HEIGHT

10'-0" MAX HEIGHT

FRONT ELEVATION

SECTION A-A

TENSION STRAP PER TABLE 602.10.6.4 (ON OPPOSITE SIDE OF SHEATHING)

FASTEN TOP PLATE TO HEADER w/ TWO ROWS OF 16D SINKER NAILS @ 3" O.C. TYP.

MIN. 3/8" WOOD STRUCTURAL PANEL SHEATHING

IF NEEDED PANEL SPLICE EDGES SHALL OCCUR AND BE NAILED TO COMMON BLOCKING WITHIN MIDDLE 24" OF WALL MID-HEIGHT. ONE ROW OF 3" O.C. NAILING IS REQUIRED IN EACH PANEL EDGE

TYPICAL PORTAL FRAME CONSTRUCTION

MIN. 1000 LB HOLD-DOWNS DEVICE (EMBEDDED INTO CONCRETE AND NAILED INTO FRAMING)

1

METHOD PFH - PORTAL FRAME WITH HOLD-DOWNS

SHEAR WALL SCHEDULE

SHEAR WALL GUIDE				
MARK #	SHEATHING	NAILING	END MEMBERS	SILL ANCHORS
1	APA 7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 6" O.C. EDGES, 8d @ 12" O.C. FIELD	(1) 2 X	1/2"Ø x 7" EMBED. @ 3'-0" O.C.
2	APA 7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 4" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2 X	1/2"Ø x 7" EMBED. @ 2'-0" O.C.
3	APA 7/16" PLY/OSB, ONE SIDE, BLOCKED	8d @ 3" O.C. EDGES, 8d @ 12" O.C. FIELD	(2) 2 X	1/2"Ø x 7" EMBED. @ 1'-8" O.C.
4	1/2" GYP. BOARD (MIN.), ONE SIDE, UNBLOCKED	6d COOLERS @ 7" O.C. EDGES , & 7" O.C. FIELD	(1) 2 X	16d @ 16" O.C., BOTTOM PLATE SHEARWALL THROUGH FLOOR DIA.
5	1/2" GYP. BOARD (MIN.), BOTH SIDES, UNBLOCKED	6d COOLERS @ 7" O.C. EDGES , & 7" O.C. FIELD	(1) 2 X	16d @ 16" O.C., BOTTOM PLATE SHEARWALL THROUGH FLOOR DIA.
6	1/2" GYP. BOARD (MIN.), ONE SIDE, UNBLOCKED	6d COOLERS @ 7" O.C. EDGES , & 7" O.C. FIELD	(1) 2 X	1/2"Ø x 7" EMBED. @ 4'-0" O.C.
7	5/8" GYP. BOARD (MIN.), BOTH SIDES, BLOCKED	6d COOLERS @ 4" O.C. EDGES , & 4" O.C. FIELD	(2) 2 X	1/2"Ø x 7" EMBED. @ 3'-0" O.C.

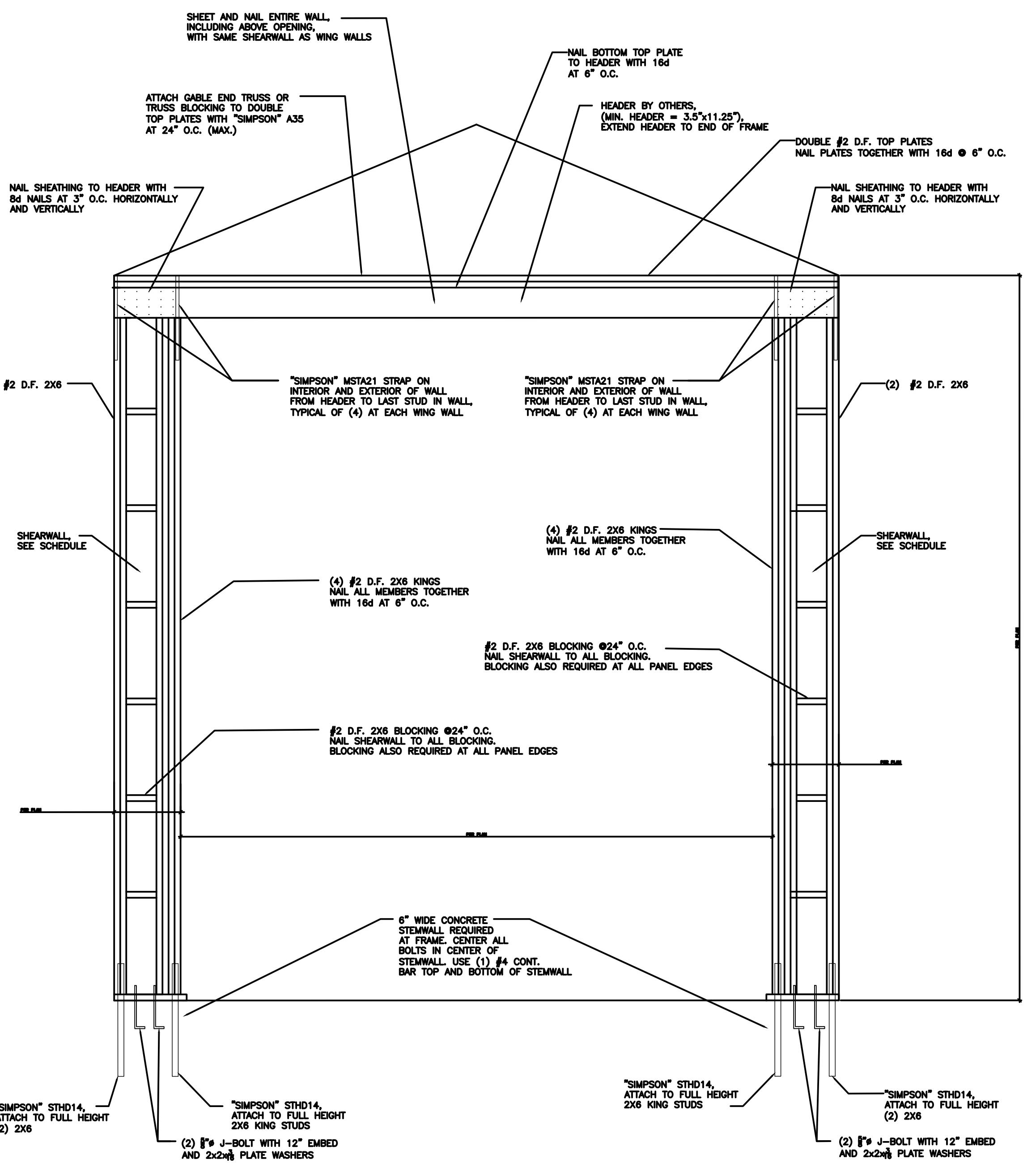
NOTES: 1) SILL ANCHOR SPACING IS UNDER SHEAR WALLS, SPACE ALL OTHER EXTERIOR SILL ANCHORS @ 4'-0" O.C.
2) IF SHEARWALL REQUIRES HOLDOWNS, USE WOOD MEMBER FROM HOLDOWN SCHEDULE IN PLACE OF END MEMBERS
3) FULL HEIGHT TRUSS BLOCKING REQUIRED AT ALL SHEARWALLS WITH TRUSS HEEL HEIGHTS OVER 9.25" TALL. NAIL ROOF DIAPHRAGM TO EACH BLOCKING
WITH 8d AT 6" O.C., TOE NAIL EACH BLOCKING TO TOP PLATES WITH (4) 16d COMMON NAILS.
4) USE "SIMPSON" H2.5A AT EACH TRUSS TO TOP PLATES/BEAM U.N.O.
5) ALL NAILS COMMON NAILS UNLESS NOTED OTHERWISE

HOLDOWN SCHEDULE

MARK #	TYPE	WOOD MEMBER	COMMENTS
1	"SIMPSON" STHD14	(2) 2x	
2	"SIMPSON" HDU4-SDS2.5	(2) 2x	USE 5/8"Ø J-BOLT WITH 12" EMBEDMENT

NOTES: (1) #4 HORIZ. REBAR REQUIRED IN TOP AND BOTTOM OF STEMWALL AT ALL HOLDOWNS (3" CLEAR), MINIMUM REBAR LENGTH = 60", CENTER REBAR AT HOLDOWN, AT CORNERS BEND REBAR AT CENTER OF 60" LENGTH, EXTEND REBAR 30" EACH WAY.

(2) AT SIMPSON HDU11-SDS2.5 HOLDOWNS USE (2) #4L VERTICAL BARS, (1) AT EACH HOLDOWN, HOOK VERTICAL #4L BARS INTO FOOTING.



PORTAL FRAME AT RV GARAGE – N.T.S.

MAIN FLOOR AREA: 2,653 SF	
SECOND FLOOR AREA: 0 SF	
UNFINISHED AREA: 0 SF	
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PORCH / PATIO AREA: 416 SF	
GARAGE AREA: 1,012 SF	
TOTAL AREA:	4,081 SF

BASE MODEL:	SWAGGART 2600 MODEL
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PAPER SIZE:	36X24

**TORCHLIGHT
ESTATES
LOT 03 BLOCK 01**

SHEAR DETAILS

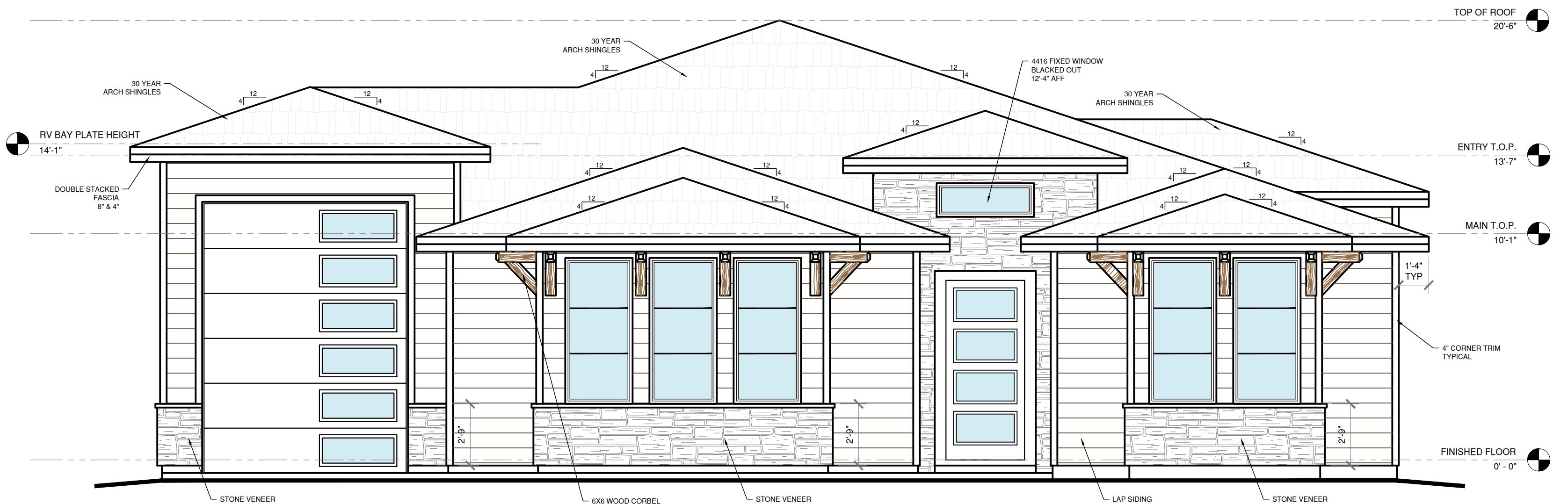
A1.2



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FRONT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



REAR ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

REVISION SCHEDULE		
#	DESCRIPTION	DATE
1		

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**TORCHLIGHT
ESTATES
LOT 03 BLOCK 01**

ELEVATIONS

A2.0



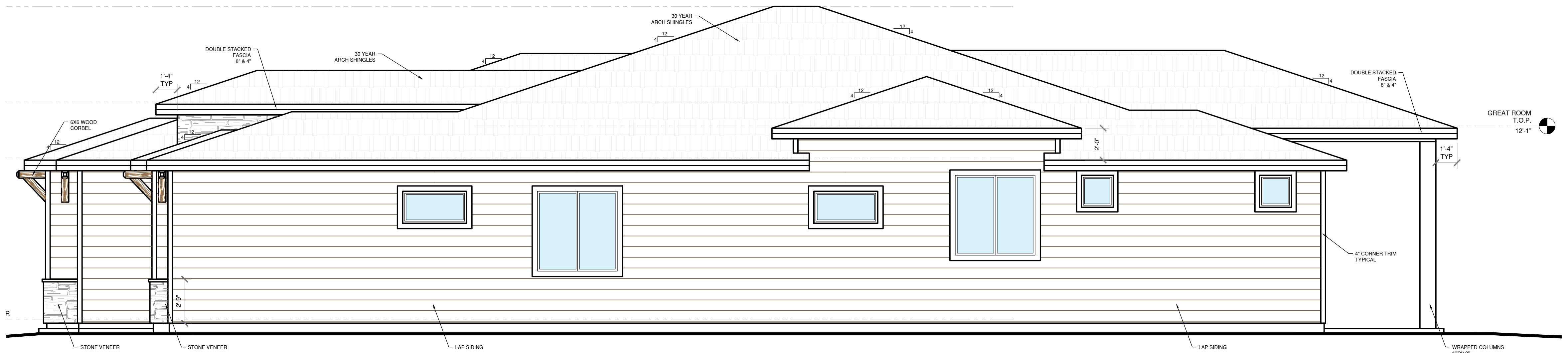
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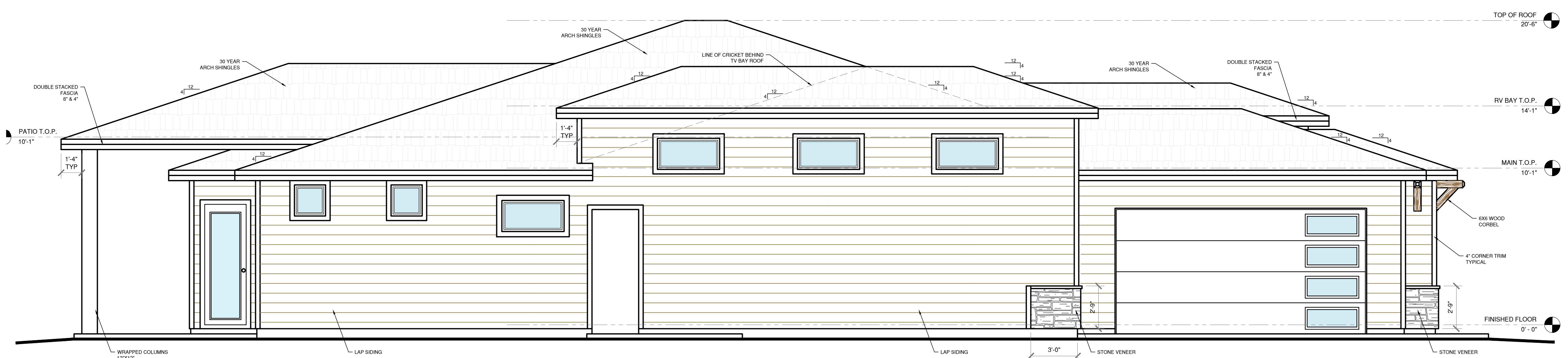
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**TORCHLIGHT ESTATES #1
3264 N. FIRE FLOWER AVE
STAR, IDAHO**



RIGHT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")



LEFT ELEVATION

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

TORCHLIGHT ESTATES LOT 03 BLOCK 01

ELEVATIONS

A2.1



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**TORCHLIGHT ESTATES #1
3264 N. FIRE FLOWER AVE
STAR, IDAHO**

REVISION SCHEDULE

**TORCHLIGHT
ESTATES
LOT 03 BLOCK 01**

ELECTRICAL PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

PRESCRIPTIVE ENERGY CODE COMPLIANCE

THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (2015 IECC)

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT						
CLIMATE ZONE	WINDOW U-FACTOR	CEILING R-VALUE	WOOD WALL R-VALUE	FLOOR R-VALUE	SLAB R-VALUE	MECHANICAL DUCTING
5	0.35	38	21 (or) 13+5	30	10, 2FT	8

SEE MANUAL J VALUES

ELECTRICAL LEGEND	
ID	DESCRIPTION
	SMOKE / CO2 DETECTOR
	EXHAUST FAN
	POLE SWITCH
	SINGLE POLE SWITCH W/ DIMMER
	110v OUTLET - DUPLEX RECEPTACLE
	110v OUTLET - QUADRUPLE RECEPTACLE
	220v OUTLET - SPECIAL PURPOSE RECEPTACLE
	RECESSED CAN LIGHTING - FLUSH MOUNTED
	PENDULUM LIGHTING - SUSPENDED FROM CEILING
	STANDARD LIGHTING - CEILING MOUNTED
	STANDARD SCONCE - WALL MOUNTED
	PUCK LIGHTING
	EXTERIOR SCONCE - WALL MOUNTED
	FLUORESCENT FIXTURE - CEILING MOUNTED
	CEILING FAN

ELECTRICAL AND MECHANICAL GENERAL NOTES:

1. MECHANICAL CONTRACTOR SHALL VERIFY SIZES AND LOCATIONS OF ALL VENTS AND DUCTWORK PRIOR TO CONSTRUCTION.
2. FURNACE DUCTS FROM THE GARAGE INTO THE DWELLING ARE TO BE A MINIMUM OF 26 GAUGE GALVANIZED SHEET METAL WITH NO OPENINGS INTO GARAGE. FIRESTOP AND SEAL AROUND DUCT PENETRATIONS.
3. FURNACES, HEAT PUMPS, WATER HEATERS AND OTHER MECHANICAL EQUIPMENT AS WELL AS GAS PIPING LOCATED IN GARAGE ARE TO BE PROTECTED FROM AUTOMOBILE IMPACT. SEE MECHANICAL INSPECTOR FOR PROTECTION REQUIREMENTS.
4. APPLIANCES INSTALLED IN GARAGE GENERATING A SPARK, GLOW OR FLAME MUST KEEP PILOTS, BURNERS, HEATING ELEMENTS AND SWITCHES A MINIMUM OF 18" ABOVE FLOOR SURFACE.
5. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMAR4Y POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTER BACKUP. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN REQUIRED FOR OVERCURRENT PROTECTION. ALL SMOKE DETECTORS ARE TO BE WIRED TOGETHER ON ONE CIRCUIT AND DESIGNED FOR ALL DETECTORS TO SOUND IF ONE DETECTOR IS ACTIVATED.
6. IN BATHROOMS, WATER CLOSET COMPARTMENTS AND LAUNDRY ROOMS PROVIDE A MECHANICAL FAN CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR OR OPERABLE WINDOW. THE POINT OF DISCHARGE OF EXHAUST AIR SHALL BE AT LEAST 3 FEET FROM ANY OPENING INTO THE BUILDING.
7. MIN. 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY



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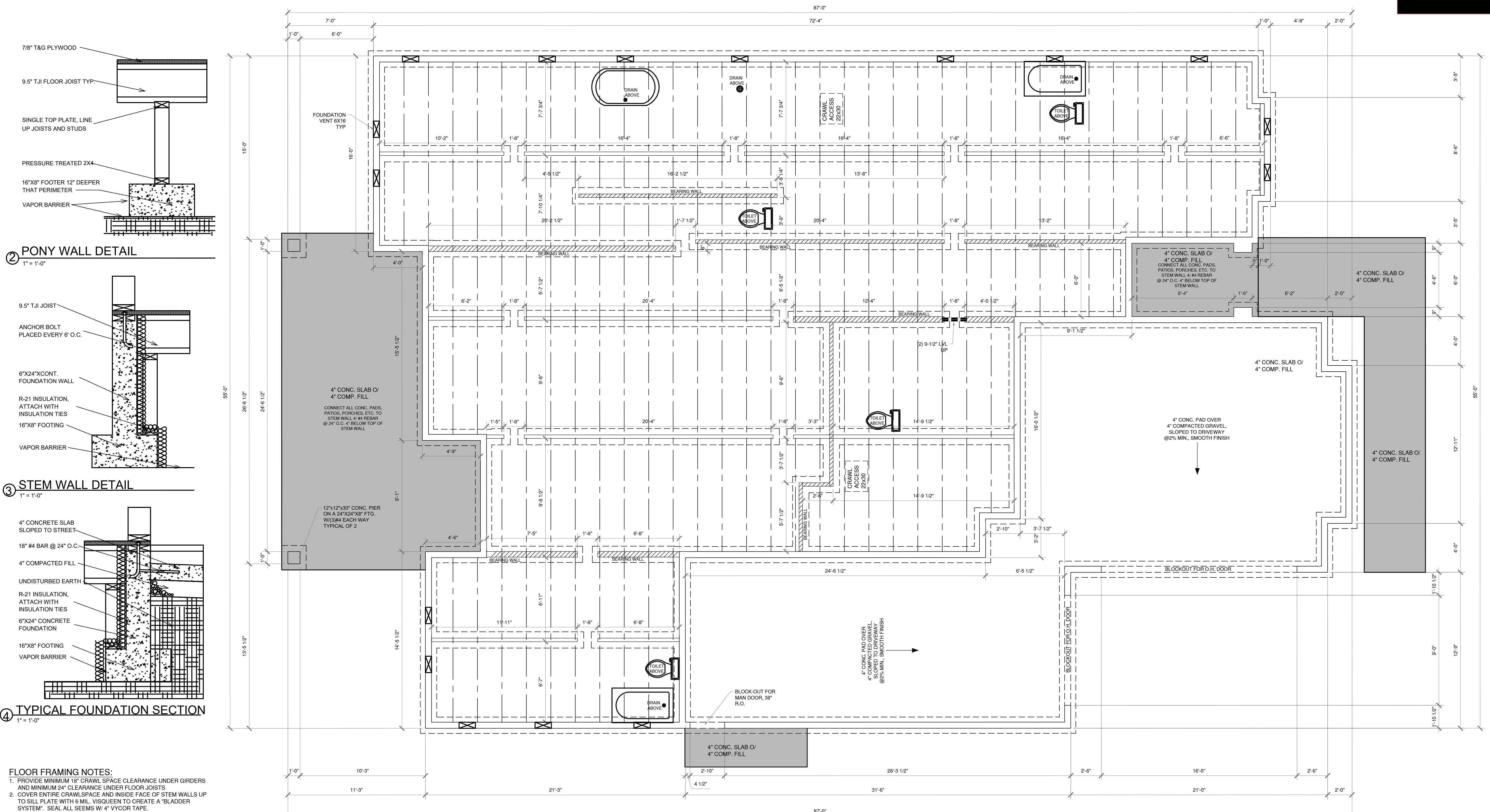
REVISION SCHEDULE

DESCRIPTION	DATE
N FLOOR AREA: 2,653 SF	
OND FLOOR AREA: 0 SF	
NISHED AREA: 0 SF	
TAL CONDITIONED AREA:	2,653 SF
CH / PATIO AREA: 416 SF	
AGE AREA: 1,012 SF	
AL AREA:	4,081 SF
MODEL:	SWAGGART 2600 MODEL
WN BY:	LS
SION COPY:	#6
SION DATE:	09/14/2023
ER SIZE:	36X24

**TORCHLIGHT
ESTATES
LOT 03 BLOCK 01**

FOUNDATION PLAN

51.0



FOUNDATION PLAN

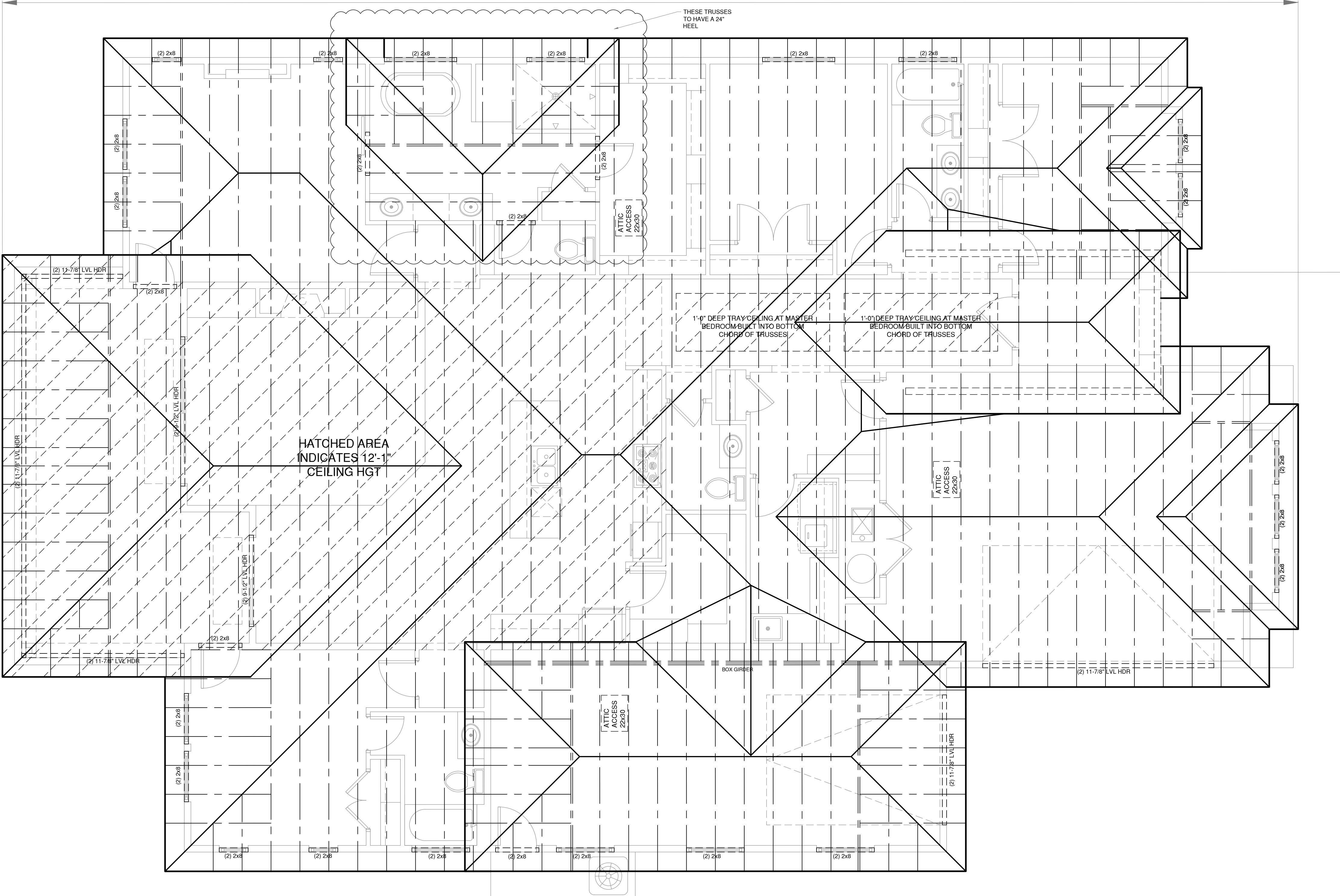
SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

FLOOR FRAMING NOTES:

1. PROVIDE MINIMUM 18" CRAWL SPACE CLEARANCE UNDER GIRDERS AND MINIMUM 24" CLEARANCE UNDER FLOOR JOISTS
2. COVER ENTIRE CRAWLSPACE AND INSIDE FACE OF STEM WALLS UP TO SILL PLATE WITH 6 MIL. VISQUEEN TO CREATE A "BLADDER SYSTEM". SEAL ALL SEEMS W/ 4" VYCOR TAPE.
3. UNLESS OTHERWISE NOTED ON PLANS, USE 7/8" T&G OSB DECKING OVER 9-1/2" FLOOR JOISTS @ 24" O/C. (13'-9" MAX. CLEAR SPAN). FRAMING SUB-CONTRACTOR MAY NEED TO ADJUST JOIST SPACING AS REQUIRED FOR PLUMBING ITEMS THAT REQUIRE A DRAIN PENETRATING FLOOR SURFACE ABOVE.
4. PONYWALLS ARE 2x4 CONSTRUCTION @ 24" O.C. UNLESS NOTED OTHERWISE. ALIGN STUDS UNDER JOISTS. ADDITIONAL 2x4 STUDS MAY BE REQUIRED IN PONYWALLS FOR ROOF-BEARING POINT LOADS.
5. ALL WOOD COMING INTO CONTACT WITH CONCRETE TO BE PRESSURE-TREATED WOOD OR EQUALLY WATER RESISTANT PER CODE.
6. PROVIDE R-19 INSULATION BETWEEN FLOOR JOISTS OVER ALL UNHEATED AREA.



PRE-ENGINEERED WOOD TRUSSES @ 24" O.C. (SEE MANUFACTURE'S TRUSS PACKET AND ENGINEERING)



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

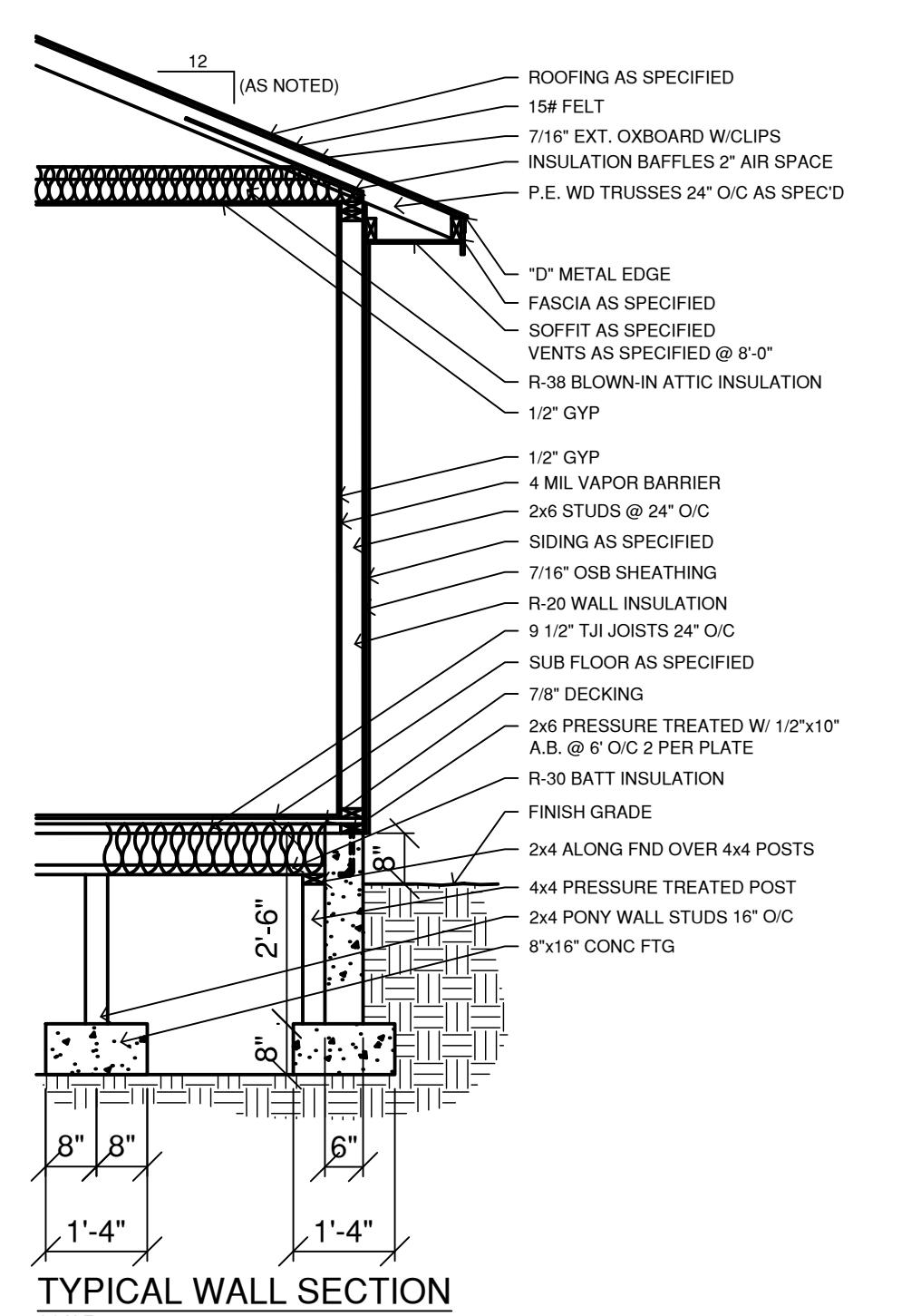
ROOF FRAMING NOTES:

1. BUILDER RESERVES THE RIGHT TO CHANGE PLANS TO MEET CURRENT BUILDING CODES
2. (2)2x8 DF HEADERS @ ALL OPENINGS LESS THAN 5'-0" IN WIDTH U.N.O.
3. (2)2x10 DF HEADERS @ ALL OPENINGS GREATER THAN 5'-0" IN WIDTH U.N.O.
4. REFER TO ELEVATIONS FOR ADDITIONAL INFO
5. PROVIDE ATTIC VENTILATION USING GABLE VENTS AND/OR RIDGE VENTS PER LOCAL CODES
6. PROVIDE SCREENED SOFFIT VENTILATION AT EAVES PER LOCAL CODES
7. ROOF COVERING TO CONSIST OF 30 YEAR ARCHITECTURAL SHINGLES OR BETTER

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TYPICAL WALL SECTION

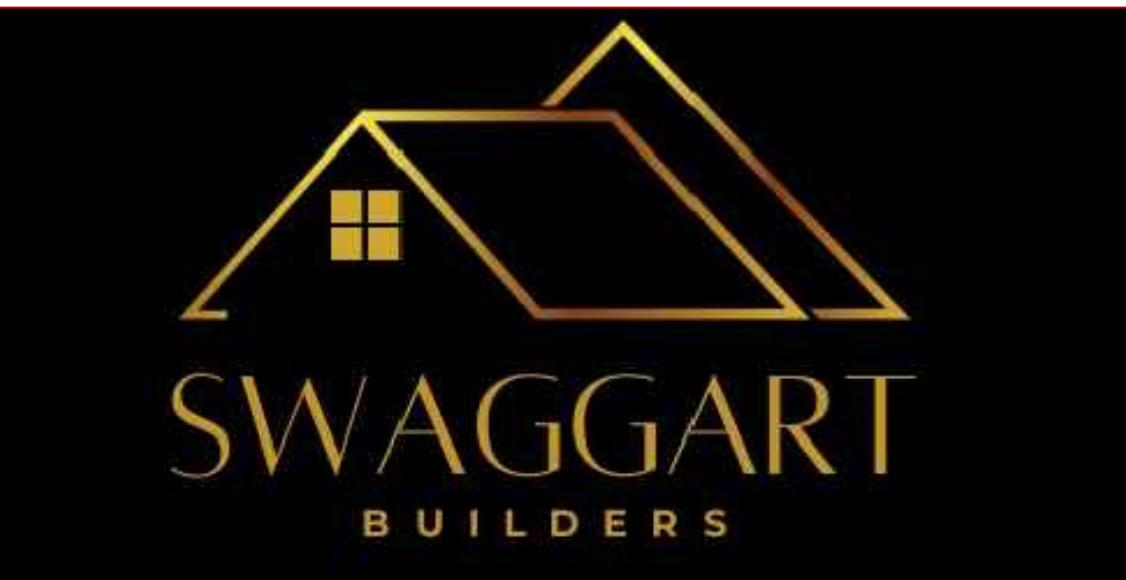
SCALE: 1/4" = 1'-0"
NOTES:
• PER CODE R703.2 WATER RESISTANCE HOUSE WRAP PER CODE REQUIREMENTS.
• PER CODE R705.8 FLASHING. FLASHING NEEDS TO BE ADDED AROUND WINDOW AND DOOR OPENINGS PER MANUFACTURER SPEC'S.

REVISION SCHEDULE		
#	DESCRIPTION	DATE
1		
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**TORCHLIGHT
ESTATES
LOT 03 BLOCK 01**

ROOF FRAMING

S2.0



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ATTIC VENTILATION CALCULATION

**AREA 1 -
4081 SQ. FT. / 150 = 27.20 SQ. FT OR 3916.80 SQ. IN.
VENTILATION REQUIRED**

- * 386 LINEAL FEET OF SOFFIT VENT = 3860 SQ. IN.
- * 15 ROOF VENTS = 750 SQ. IN.

ROOF VENTS + SOFFIT VENTS = 4,610 SQ IN
VENTING (3917 SQ IN REQ)

NOTES:

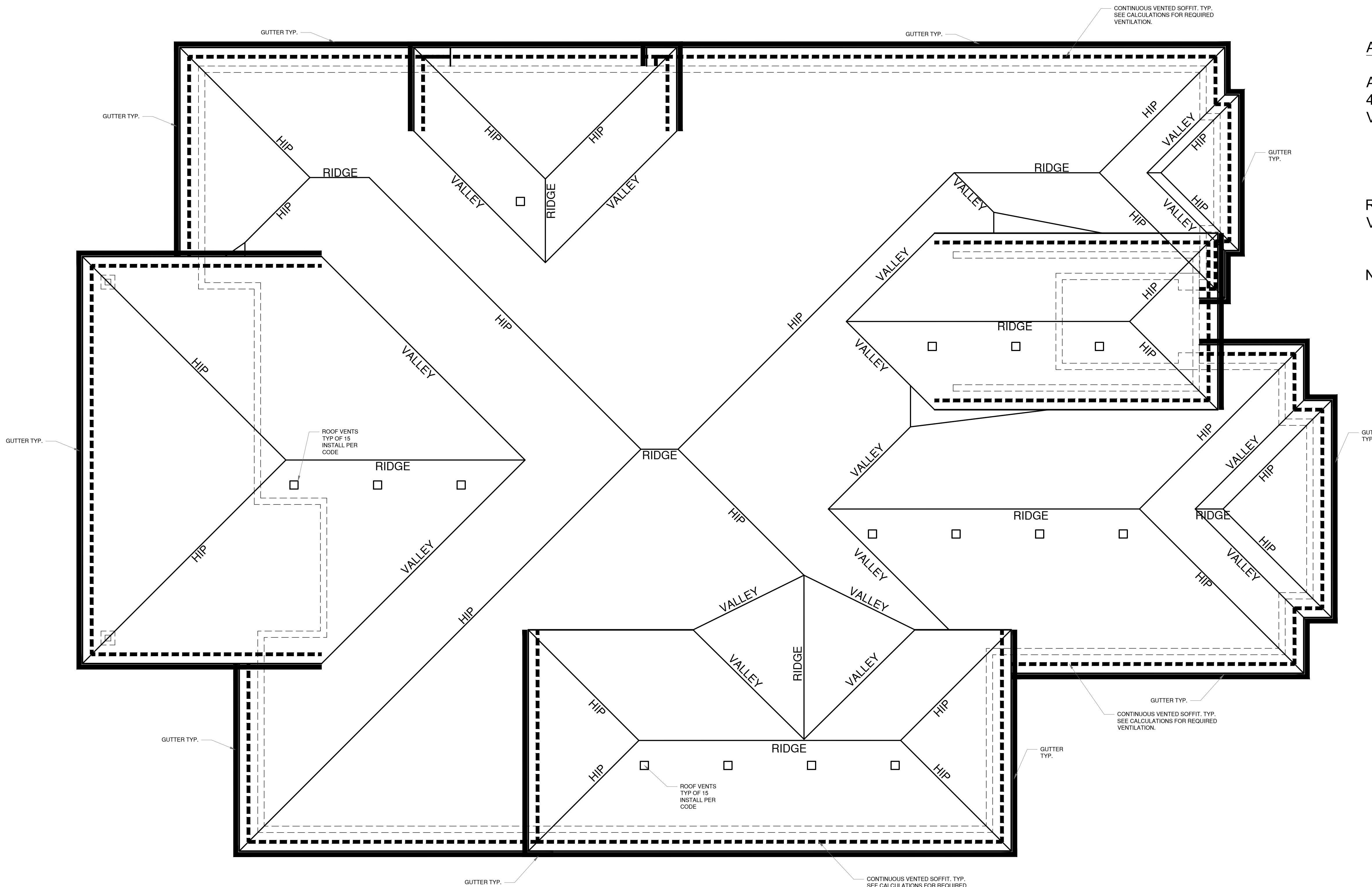
- * CONTINUOUS SOFFIT VENT PROVIDES 10 SQ. IN. VENTILATION PER FOOT OF SOFFIT
- * ROOF VENTS PROVIDE 50 SQ IN OF VENTILATION PER VENT

SWAGGART RESIDENCE

REVISION SCHEDULE

**TORCHLIGHT
ESTATES
LOT 03 BLOCK 01**

ROOF PLAN



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0" (11x17 SHEET SCALE: 1/8" = 1'-0")

This technical diagram illustrates a cross-section of a typical wall, showing the various components and their dimensions. The wall is 2'-6" wide at the base and 8' high. Key features include a 4x4 post at the corner, 2x4 pony wall studs, and a 4x4 pressure-treated post. The roof section shows P.E. WD TRUSSES, 15# FELT, and ROOFING AS SPECIFIED. The insulation layers include R-38 BLOWN-IN ATTIC INSULATION, R-20 WALL INSULATION, and R-30 BATT INSULATION. The exterior wall is built with 2x6 STUDS @ 24" O/C, 7/16" OSB SHEATHING, SIDING AS SPECIFIED, and a 1/2" GYP finish. The interior wall has 9 1/2" TJI JOISTS @ 24" O/C, 7/8" DECKING, and 2x6 PRESSURE TREATED W/ 1/2"x10" A.B. @ 6' O/C 2 PER PLATE. The foundation consists of 8"x16" CONC FTG and 2x4 ALONG FND OVER 4x4 POSTS. The diagram also shows 15# FELT, 7/16" EXT. OXBOARD W/CLIPS, and INSULATION BAFFLES 2" AIR SPACE. The overall width of the wall section is 12' (AS NOTED).

12
(AS NOTED)

ROOFING AS SPECIFIED
15# FELT
7/16" EXT. OXBOARD W/CLIPS
INSULATION BAFFLES 2" AIR SPACE
P.E. WD TRUSSES 24" O/C AS SPEC'D
"D" METAL EDGE
FASCIA AS SPECIFIED
SOFFIT AS SPECIFIED
VENTS AS SPECIFIED @ 8'-0"
R-38 BLOWN-IN ATTIC INSULATION
1/2" GYP
1/2" GYP
4 MIL VAPOR BARRIER
2x6 STUDS @ 24" O/C
SIDING AS SPECIFIED
7/16" OSB SHEATHING
R-20 WALL INSULATION
9 1/2" TJI JOISTS 24" O/C
SUB FLOOR AS SPECIFIED
7/8" DECKING
2x6 PRESSURE TREATED W/ 1/2"x10"
A.B. @ 6' O/C 2 PER PLATE
R-30 BATT INSULATION
FINISH GRADE
2x4 ALONG FND OVER 4x4 POSTS
4x4 PRESSURE TREATED POST
2x4 PONY WALL STUDS 16" O/C
8"x16" CONC FTG

2'-6"

8" 8"

6"

1'-4"

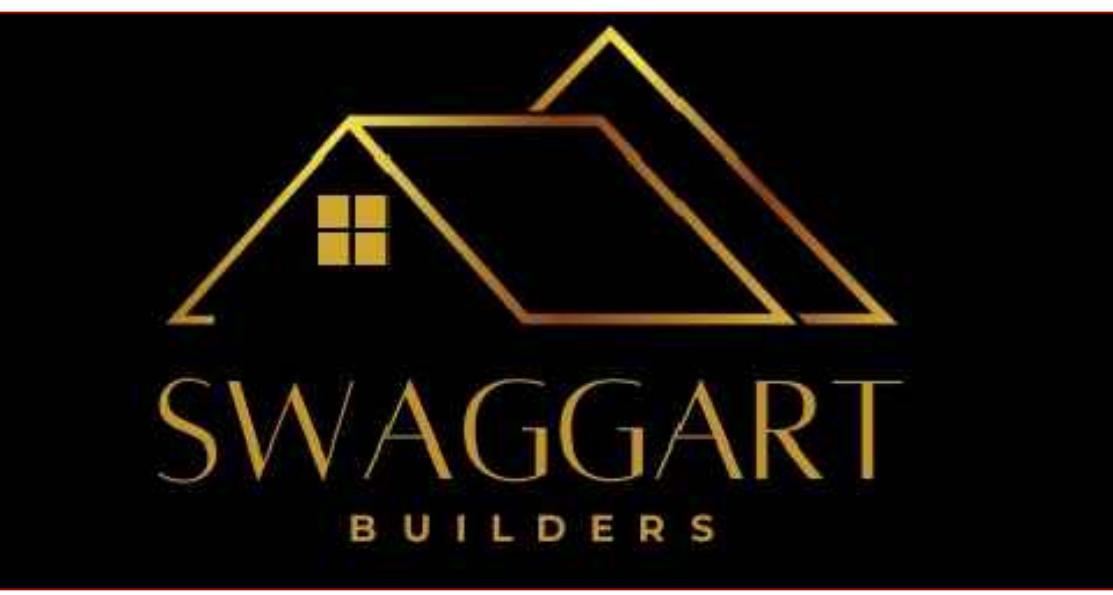
1'-4"

TYPICAL WALL SECTION

SCALE: 1/4" - 1'-0"

NOTES:

- PER CODE R703.2 WATER RESISTANCE HOUSE WRAP PER CODE REQUIREMENTS.
- PER CODE R703.8 FLASHING, FLASHING NEEDS TO BE ADDED AROUND WINDOW AND DOOR OPENINGS PER MANUFACTURER SPEC'S.

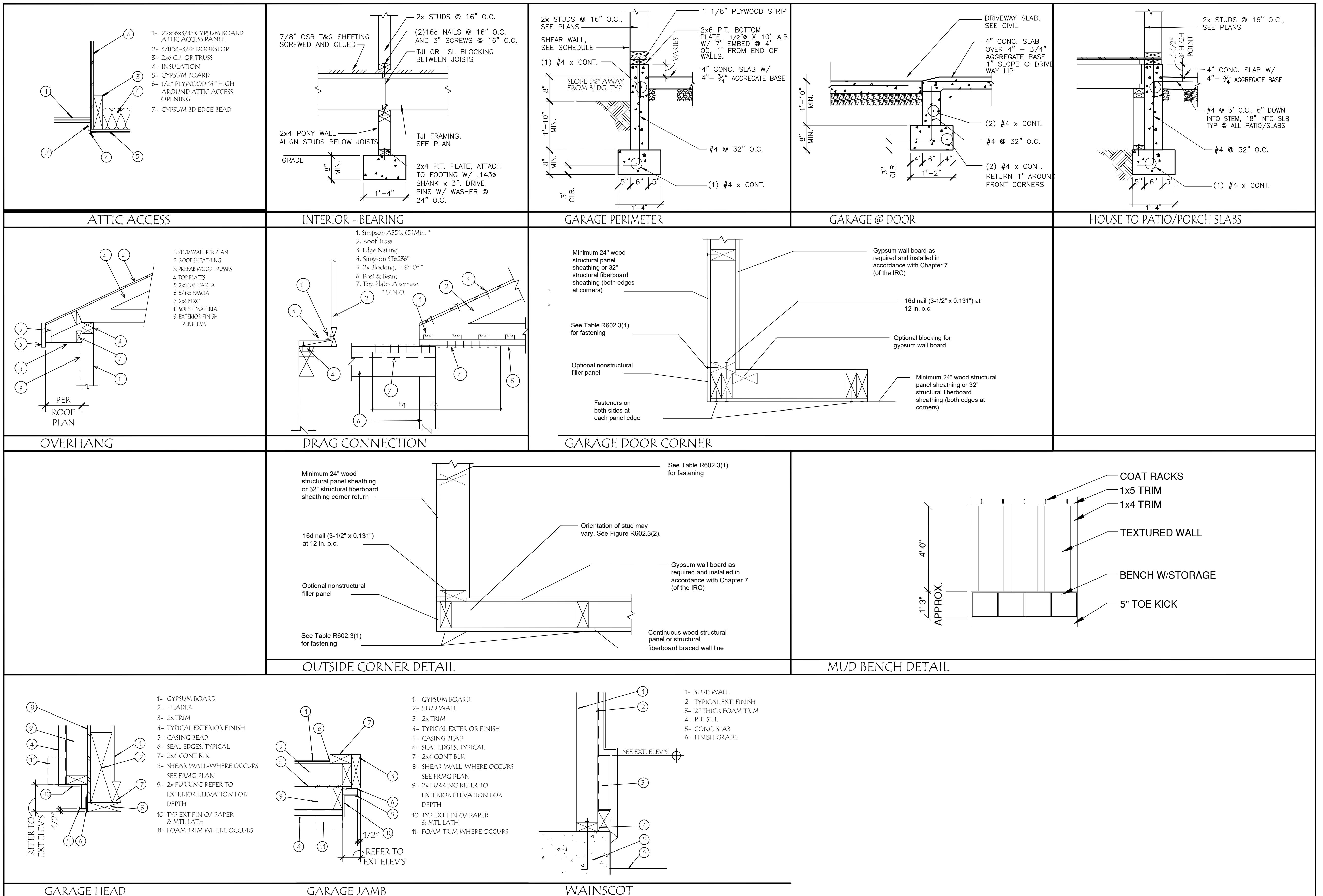


SWAGGART BUILDERS
PHONE: 208-204-1730
SWAGGARTBUILDERS@OUTLOOK.COM

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SWAGGART RESIDENCE

3264 N. FIRE FLOWER AVE
STAR, IDAHO



REVISION SCHEDULE		
#	DESCRIPTION	DATE
1		

MAIN FLOOR AREA: 2,653 SF
SECOND FLOOR AREA: 0 SF
UNFINISHED AREA: 0 SF
TOTAL CONDITIONED AREA: 2,653 SF
PORCH / PATIO AREA: 416 SF
GARAGE AREA: 1,012 SF
TOTAL AREA: 4,081 SF
BASE MODEL: SWAGGART 2600 MODEL
DRAWN BY: LS
REVISION COPY: #6
REVISION DATE: 09/14/2023
PAPER SIZE: 36X24

TORCHLIGHT
ESTATES
LOT 03 BLOCK 01
STRUCTURAL
DETAILS
SD1.0